

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
JULY 13, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = **RED**

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of Minutes for the June 29, 2021 Planning and Zoning Commission meetings.

(3) **P2021-033 (HENRY LEE)**

Discuss and consider a request by Aaron Selden for the approval of a Final Plat for Lots 1 & 2, Block A, Aaron Selden Addition being a 5.74-acre tract of land identified as Tracts 5-05, 5-06, & 5-12 of the J. Simmons Survey, Abstract No. 190, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 260 Anna Cade Road, and take any action necessary.

(4) **P2021-036 (DAVID GONZALES)**

Discuss and consider a request by Bart Carroll for the approval of a Preliminary Plat for Phase 2 of the Landon Subdivision being a 94.273-acre tract of land identified as a portion of Tract 13 of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the southwest corner of the intersection of S. Munson Street and Streetman Road, and take any action necessary.

(5) **SP2021-016 (HENRY LEE)**

Discuss and consider a request by Johnathan Thrall of Nimble Restoration Services on behalf of Johnathan Dubroc of M. Crowd Restaurant Group for the approval of an Amended Site Plan for an existing Restaurant [Mi Cocina] on a 1.41-acre parcel of land identified as Lot 11, Block A, Rockwall Crossing Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 971 E. IH-30, and take any action necessary.

(V) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(6) **Z2021-020 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by St. Benedict's Anglican Church on behalf of Brett Hall for the approval of a Specific Use Permit (SUP) for a House of Worship on a 7.45-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Drive, and take any action necessary.

(7) **Z2021-021 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Stephen Seitz of Seitz Architects, Inc. on behalf of Jim Vaudagna of the Vault Self-Storage for the approval of a Specific Use Permit (SUP) the expansion of an existing Mini-Warehouse Facility on a 6.06-acre parcel of land identified as Lot 1, Block C, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1280 E. Ralph Hall Parkway, and take any action necessary.

(8) **Z2021-022 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Ignacio Cardenas for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.158-acre parcel of land identified as Lot 810-A0 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 147 Eva Place, and take any action necessary.

(9) **Z2021-023 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Don Holamon for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 1.50-acre parcel of land identified as Lot 12, Block A, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 3221 Diamond Way Drive, and take any action necessary.

(10) **Z2021-024 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of a Zoning Change amending Planned Development District 46 (PD-46) to allow Warehouse as a permitted land use on a 1.90-acre parcel of land identified as Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, addressed as 3301 Springer Road, and take any action necessary.

(11) **Z2021-025 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Kevin Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 908A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 154 Lynne Drive, and take any action necessary.

(12) **Z2021-026 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Troy Lewis of Newstream Capital Partners for the approval of a Zoning Change to amend Planned Development District 8 (PD-8) [Ordinance No. 92-39] for the purpose of allowing townhomes on a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 92-39] for Zero Lot Line (ZL-5) District land uses, generally located south on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.

(VI) **ACTION ITEMS**

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(13) **SP2021-018 (DAVID GONZALES)**

Discuss and consider a request by Kevin Patel of Triangle Engineering, LLC on behalf of Gene Cooper of GotRock Properties, LLC for the approval of a Site Plan for two (2) office buildings on a 1.128-acre tract of land identified as Lots 2 & 4, Block A, North Lake Shore Daycare Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for General Retail (GR) District land uses, addressed as 1942 & 1944 N. Lakeshore Drive, and take any action necessary.

(VII) **DISCUSSION ITEMS**

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission.

(14) **Director's Report** of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2021-029: Replat for Lots 8-15, Block A, Richard Harris No. 2 Addition (APPROVED)
- P2021-030: Replat for Lot 4, Block A, Channell Subdivision (APPROVED)
- P2021-031: Replat for Lot 1, Block M, Lake Rockwall Estates East Addition (APPROVED)
- P2021-032: Final Plat for Lot 1, Block A, Centers for Peace and Mercy Addition (APPROVED)

- P2021-034: Final Plat for Lots 1 & 2, Block A, ADAT Addition (**APPROVED**)
- P2021-035: Conveyance for Lots 1, Block A, TAC Rockwall Addition (**APPROVED**)
- MIS2021-007: Special Exception for 814 Peters Colony (**APPROVED**)
- Z2021-014: Zoning Change (AG to PD) for Klutts Farm (**APPROVED; 2ND READING**)
- Z2021-015: SUP for a Residential Infill at 511 S. Clark Street (**APPROVED; 2ND READING**)
- Z2021-017: Zoning Change (AG to LI) on Airport Road (**APPROVED; 2ND READING**)
- Z2021-018: Zoning Change (AG to LI) on Corporate Crossing (**APPROVED; 2ND READING**)
- Z2021-019: Comprehensive Plan Update (**APPROVED; 2ND READING**)

(VIII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on July 9, 2021 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS JUNE 29, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 I. CALL TO ORDER
3

4 Chairman Chodun called the meeting to order at 6:06 PM. Commissioners present were John Womble, Derek Deckard, Sedric Thomas,
5 Mark Moeller, Jean Conway and Vice-Chairman Jerry Welch. Staff members present were Planning and Zoning Director Ryan Miller,
6 Planning and Zoning Manager David Gonzales, Planning and Zoning Coordinator Angelica Gamez, Planner Henry Lee, City Engineer Amy
7 Williams and Civil Engineer Jeremy White. Absent from the meeting was Civil Engineer Sarah Johnston.
8

9 II. OPEN FORUM
10

11 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing.*
12 *Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised*
13 *during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting*
14 *per the Texas Open Meetings Act.*
15

16 Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being
17 no one coming forward, Chairman Chodun closed the open forum.
18

19 III. CONSENT AGENDA
20

21 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development*
22 *Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*
23

24 1. Approval of Minutes for the June 15, 2021 Planning and Zoning Commission meeting.
25

26 2. **P2021-029 (HENRY LEE)**

27 Consider a request by Richard and Judy Harris Family Trust for the approval of a Replat for Lots 8-15, Block A, Richard Harris No. 2 Addition being
28 a 5.50-acre tract of land identified as Lots 1-7, Block A, Richard Harris No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family
29 7 (SF-7) District, addressed as 400, 402, 404, 406, 408, 410, & 412 Renfro Street, and take any action necessary.
30

31 3. **P2021-030 (DAVID GONZALES)**

32 Consider a request by Luis M. Gonzalez of Pacheco Koch Consulting Engineers on behalf of Alton Frazier of Willcar Holdings, LLC for the approval
33 of a Replat for Lot 4, Block A, Channell Subdivision being a 18.762-acre parcel of land identified as Lot 3, Block A, Channell Subdivision, City of
34 Rockwall, Rockwall County, Texas, zoned Planned Development District 89 (PD-89) for Light Industrial (LI) District land uses, situated within the SH-
35 205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.
36

37 4. **P2021-031 (ANGELICA GAMEZ)**

38 Consider a request by Alejandro Flores for the approval of a Replat for Lot 1, Block M, Lake Rockwall Estates East Addition being a 0.33-acre parcel
39 of land identified as Lot 1406 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development
40 District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and take any action necessary.
41

42 5. **P2021-032 (DAVID GONZALES)**

43 Consider a request by David Srouji of D&M Construction on behalf of Abdul L. Khan of Centers for Peace and Mercy for the approval of a Final Plat
44 for Lot 1, Block A, Centers for Peace and Mercy Addition being a 2.74-acre tract of land identified as Tract 10-01 & 22 of the E. P. G. Chisum Survey,
45 Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District,
46 addressed as 600 Turtle Cove Boulevard, and take any action necessary.
47

48 6. **P2021-034 (ANGELICA GAMEZ)**

49 Consider a request by Akhil Vats of ADAT Estate, LLC for the approval of a Final Plat for Lots 1 & 2, Block A, ADAT Addition being a 1.57-acre tract
50 of land identified as Tracts 30, 31, 32, & 32-1, of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned
51 Neighborhood Services (NS) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1001 N. Goliad Street, and
52 take any action necessary.
53

54 7. **P2021-035 (DAVID GONZALES)**

55 Consider a request by Josh Millsap of KFM Engineering & Design on behalf of the Estate of Billy W. Peoples and Myreli, LLC for the approval of a
56 Conveyance Plat for Lot 1, Block A, TAC Rockwall Addition being a 3.338-acre tract of land identified as Lots 1, 2, 3, 4, 5, 6, 7, & 8, Block P and Lots
57 1 & 2, Block AB, Rockwall OT Addition and Lots 4 & 5, Block A and Lots 4 & 5, Block B, Lowe & Allen Addition, City of Rockwall, Rockwall County,
58 Texas, zoned Downtown (DT) District, situated at the southwest corner of the intersection of SH-66 and SH-205 [N. Goliad Street], and take any
59 action necessary.
60

61 8. **SP2021-019 (DAVID GONZALES)**

62 Discuss and consider a request by David Bond of Spiars Engineering on behalf of Andrew Malzer of Gingercrest Inc. for the approval of an Amended
63 Site Plan for an existing General Retail Store with Gasoline Sales on a 8.240-acre tract of land identified as Lots 6 & 7, Block 1, Meadowcreek

64 Business Center, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay
65 (SH-205 OV) District and the SH-276 Overlay (SH-276 OV) District, addressed as 2301 S. Goliad Street, and take any action necessary.
66

67 **Commissioner Deckard made a motion to approve the consent agenda. Commissioner Thomas seconded the motion which passed by a**
68 **vote of 7-0.**
69

70 IV. ACTION ITEMS
71

72 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances*
73 *and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of*
74 *Ordinances.*
75

76 9. **MIS2021-007 (HENRY LEE)**

77 Discuss and consider a request by Michael Hunter of the Rockwall Housing Development Corporation for the approval of a Special Exception to the
78 setback requirements for a duplex on a 0.112-acre parcel of land identified as Lot 1, Block A, RHDC Addition, City of Rockwall, Rockwall County,
79 Texas, zoned Multi-Family 14 (MF-14) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 814
80 Peters Colony, and take any action necessary.
81

82 **Planner Henry Lee provided a brief history in regards to the request. Specifically, the North East Texas Community Development**
83 **Corporation (NETCDC) are in the process of constructing a duplex on the property. The applicant informed Staff that there was an error**
84 **with their form board survey where the contractor set the foundation form board on the build line instead of recessing it 18-inches.**
85 **Currently, the structure has been framed and it would be cost prohibitive for them to bring the structure into conformance. Staff should**
86 **note that City Council has approved a previous request which reduced their building setback from 20-feet to 15-feet. If this is approved,**
87 **City Council will be granting a 13 ½ -foot building setback adjacent to Peters Colony. The applicant's request does not appear to be**
88 **inconsistent with the existing neighborhood. Mr. Lee then advised that this is a discretionary decision for City Council pending a**
89 **recommendation from the Planning and Zoning Commission.**
90

91 **Commissioner Moeller added that this would enhance the neighborhood.**

92 **Commissioner Womble wanted clarification on whether or not they were making the building bigger or if it was just set in the wrong place.**
93

94 **Michael Hunter**
95 **RHDC Corporation**
96 **220 W. Quail Run Road**
97 **Rockwall, TX 75087**
98

99 **Mr. Hunter came forward and provided additional details in regards to his request.**

100 **Commissioner Moeller made a motion to approve MIS2021-007 with staff recommendations. Commissioner Womble seconded the motion**
101 **which passed by a vote of 7-0.**
102

103 **Chairman Chodun advised that the item will be brought before the City Council on July 6, 2021.**
104

105 V. DISCUSSION ITEMS
106

107 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that*
108 *will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place*
109 *when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public*
110 *hearing and/or action date for the following cases is July 13, 2021.*
111
112

113 10. **Z2021-020 (DAVID GONZALES)**

114 Hold a public hearing to discuss and consider a request by St. Benedict's Anglican Church on behalf of Brett Hall for the approval of a Specific Use
115 Permit (SUP) for a House of Worship on a 7.45-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna
116 Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Drive, and take any
117 action necessary.
118

119 **Chairman Chodun asked the applicant to come forward.**
120

121 **Dub Douphrate**
122 **2235 Ridge Road**
123 **Rockwall, TX 75087**
124

125 **Mr. Douphrate came forward and provided a brief summary in regards to the request. Their intent is to change the use of the subject**
126 **property from single-family residential to a church home. The existing structure is about 7,000-square feet and their intent is to keep the**
127 **majority of that structure intact.**
128

129 **Commissioner Deckard asked if there was going to be a turn lane required due to this being a heavily residential area.**
130

131 Planning and Zoning Manager David Gonzales added that the applicant would be requesting a waiver to the three-tiered screening
132 requirement.

133
134 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on July 13, 2021.
135

136 11. **Z2021-021 (HENRY LEE)**

137 Hold a public hearing to discuss and consider a request by Stephen Seitz of Seitz Architects, Inc. on behalf of Jim Vaudagna of the Vault Self-Storage
138 for the approval of a *Specific Use Permit (SUP)* the expansion of an existing *Mini-Warehouse Facility* on a 6.06-acre parcel of land identified as Lot
139 1, Block C, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1280 E.
140 Ralph Hall Parkway, and take any action necessary.

141
142 Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting a Specific Use Permit (SUP) to expand
143 their mini-warehouse facility. Their site plan indicates that there will be seven (7) new buildings. The applicant will be requesting a variance
144 for the roof pitch and that is to match the existing buildings. Mr. Lee advised the Commission that they had to grant a variance during the
145 first request.

146
147 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on July 13, 2021.
148

149 12. **Z2021-022 (HENRY LEE)**

150 Hold a public hearing to discuss and consider a request by Ignacio Cardenas for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in*
151 *an Established Subdivision* on a 0.158-acre parcel of land identified as Lot 810-A0 of the Lake Rockwall Estates #2 Addition, City of Rockwall,
152 Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 147 Eva Place,
153 and take any action necessary.

154
155 Chairman Chodun asked the applicant to come forward.

156
157 Ignacio Cardenas
158 147 Eva Place
159 Rockwall, TX 75032

160
161 Mr. Cardenas came forward and provided a brief statement in regards to the request.

162
163 Planner Henry Lee added that they will be requesting a waiver for the garage setback which is required to be 20-feet. From their floor plan,
164 it does show it to be 5-feet 5-inches in front of the front façade. However, this is not uncharacteristic of the neighborhood.

165
166 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on July 13, 2021.
167

168 13. **Z2021-023 (HENRY LEE)**

169 Hold a public hearing to discuss and consider a request by Don Holamon for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building*
170 on a 1.50-acre parcel of land identified as Lot 12, Block A, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family
171 Estate 1.5 (SFE-1.5) District, addressed as 3221 Diamond Way Drive, and take any action necessary.

172
173 Chairman Chodun asked the applicant to come forward.

174
175 Don Holamon
176 3221 Diamond Way Drive
177 Rockwall, TX 75087

178
179 Mr. Holamon came forward and provided a brief summary in regards to the request. He is requesting approval of the SUP to have an
180 additional accessory building on his property to store lawn equipment.

181
182 Planner Henry Lee added that they currently have two (2) existing accessory buildings. With this request, the applicant will be asking for
183 a third accessory building as well as exceeding the maximum permissible size.

184
185 Chairman Chodun asked if the existing storage buildings were compatible but they are not.

186
187 Vice-Chairman Welch wanted additional details in regards to the size.

188
189 Commissioner Moeller asked if it will be on a concrete foundation.

190
191 Commissioner Conway asked if this would be the same situation with having a certain number of buildings on bigger properties.
192

193
194 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on July 13, 2021.
195

196 14. **Z2021-024 (RYAN MILLER)**

197 Hold a public hearing to discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of a *Zoning*
198 *Change* amending Planned Development District 46 (PD-46) to allow *Warehouse* as a permitted land use on a 1.90-acre parcel of land identified as

199 Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District
200 land uses, addressed as 3301 Springer Road, and take any action necessary.

201
202 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. Planned Development District was**
203 **established in the late 1990s and it was in response to this area being annexed. It allowed all remaining existing uses to remain intact but**
204 **any additional uses had to meet the commercial district standards. What they were wanting to build was a warehouse, which is not**
205 **uncharacteristic of the area, but are not allowed in a commercial district. They would then need to amend the planned development district**
206 **to add that use.**

207
208 **Chairman Chodun asked how the warehouse fit in with the area.**

209
210 **Greg Wallis**
211 **1520 E. I-30**
212 **Rockwall, TX 75032**

213
214 **Mr. Wallis came forward and provided additional details in regards to the request.**

215
216 **Commissioner Deckard asked if the other tracts in the property could be rezoned ahead of time.**

217
218 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on July 13, 2021.**

219
220 **15. Z2021-025 (HENRY LEE)**

221 Hold a public hearing to discuss and consider a request by Kevin Osornio for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an*
222 *Established Subdivision* on a 0.1650-acre parcel of land identified as Lot 908A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall
223 County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 154 Lynne Drive, and
224 take any action necessary.

225
226 **Planner Henry Lee provided a brief summary in regards to the request. He explained that they are requesting an SUP for a residential infill**
227 **and they will be requesting a waiver to the 20-foot garage setback. Their current floor plan shows it to be 14-feet 6 ½ inches in front of the**
228 **front façade but this is not uncharacteristic of the neighborhood.**

229
230 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on July 13, 2021.**

231
232 **16. Z2021-026 (RYAN MILLER)**

233 Hold a public hearing to discuss and consider a request by Troy Lewis of Newstream Capital Partners for the approval of an *Zoning Change* to amend
234 Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] for the purpose of allowing townhomes on a 6.88-acre tract of land identified as Lot 4,
235 Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned
236 Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] for Zero Lot Line (ZL-5) District land uses, generally located south on the south side
237 of Henry M. Chandler Drive west of Ridge Road [*FM-740*], and take any action necessary.

238
239 **Chairman Chodun asked the applicant to come forward.**

240
241 **Troy Lewis**
242 **311 S. Oak Street**
243 **Roanoke, TX 76262**

244
245 **Mr. Lewis came forward and provided a history and handout in regards to the request. He informed the Commission that he had an**
246 **informational meeting with the Chandlers Landing HOA at the beginning of March but, due to everything getting shut down, the project**
247 **was placed on hold. He also requested an opportunity to speak to the neighbors of Chandlers Landing to let them know what they had in**
248 **mind and let them have an open discussion. Mr. Lewis advised that he had requested a letter of support from the HOA but has not received**
249 **it yet when he meets with the HOA Environmental Committee on July 7, 2021. They are proposing 36 units with 2 entrances and 1 cul-de-**
250 **sac.**

251
252 **Director of Planning and Zoning Ryan Miller requested that the applicant incorporate some kind of building elevations so the Commission**
253 **can see what product is being proposed on there. Currently the property, while allowing 36 units, is designed for medium density**
254 **residential. The proposed project would exceed the permitted density for medium density residential and would require the Future Land**
255 **Use Map to be amended to high density residential. This request currently does not meet the Comprehensive Map. Staff has given**
256 **recommendations to the applicant on how they can bring the project into conformance with the Comprehensive Plan, specifically on how**
257 **the plan treats townhomes.**

258
259 **Commissioner Womble wanted clarification as to whether or not the applicant was allowed to have 36 units. He also asked if the units**
260 **were for sale or for rent.**

261 **Vice Chairman Welch asked who was responsible for the height visibility issue in Chandlers Landing.**

262 **Commissioner Deckard asked if this was under with City's control and supply for water and sewer.**

263 **Commissioner Conway asked if each of the pods of buildings will have common walls.**

264 **Mr. Miller asked if the intent of this project was to be incorporated into the Chandlers Landing HOA.**

265
266 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on July 13, 2021.**

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17. **P2021-033 (HENRY LEE)**

Discuss and consider a request by Aaron Selden for the approval of a Final Plat for Lots 1 & 2, Block A, Aaron Selden Addition being a 5.74-acre tract of land identified as Tracts 5-05, 5-06, & 5-12 of the J. Simmons Survey, Abstract No. 190, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 260 Anna Cade Road, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. Mr. Lee advised the Commission that this item was included as a Discussion Item because it had to be reviewed by Rockwall County due to it being in the Extraterritorial Jurisdiction (ETJ). The item will return as an Action Item at the next meeting.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on July 13, 2021.

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18. **P2021-036 (DAVID GONZALES)**

Discuss and consider a request by Bart Carroll for the approval of a Preliminary Plat for Phase 2 of the Landon Subdivision being a 94.273-acre tract of land identified as a portion of Tract 13 of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the southwest corner of the intersection of S. Munson Street and Streetman Road, and take any action necessary.

Planning and Zoning Manager David Gonzales advised the Commission that this item had to be reviews by Rockwall County as well due to it being inside the Extraterritorial Jurisdiction (ETJ). It will return as an Action Item at the next meeting.

Chairman Chodun asked the applicant to come forward.

**Bart Carroll
597 Meadowlark Lane
Josephine, TX 75173**

Mr. Carroll came forward and provided a brief summary in regards to the request.

Mr. Gonzales added that Staff wanted to ensure that the area will be served because there is no current agreement with Blackland Water Supply that can fulfill the water for this area.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on July 13, 2021.

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19. **SP2021-016 (HENRY LEE)**

Discuss and consider a request by Johnathan Thrall of Nimble Restoration Services on behalf of Johnathan Dubroc of M. Crowd Restaurant Group for the approval of an Amended Site Plan for an existing Restaurant [Mi Cocina] on a 1.41-acre parcel of land identified as Lot 11, Block A, Rockwall Crossing Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 971 E. IH-30, and take any action necessary.

Director of Planning and Zoning Ryan Miller advised that this item will return as a Consent Agenda item at the next meeting because it lies within the IH-30 Overlay. The reason why it was not today was because it had to be presented to the Architectural Review Board.

Vice-Chairman Welch asked what was the City's stance on outdoor vinyl walls.

Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on July 13, 2021.

20. **SP2021-017 (DAVID GONZALES)**

Discuss and consider a request by Keaton Mai of the Dimension Group behalf of Russell Phillips of Rockwall 205 Investors, LLC for the approval of a Site Plan for a Retail Store with Gasoline Sales on a 1.503-acre portion of a larger tract of land being a 34.484-acre tract of land identified as Tracts 17-5 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at east of the intersection of S. Goliad Street [SH-205] and S. FM-549, and take any action necessary.

Planner David Gonzales advised that the applicant met with the Architectural Review Board so the Commission will see some changed to the elevations when the applicant comes back before them.

Chairman Chodun asked the applicant to come forward.

**Keaton Mai
10755 Sandhill Road
Dallas, TX 75238**

Mr. Mai came forward and provided a brief summary in regards to the request. They are proposing to construct a 7-Eleven that will have a temporary access road. He added that they met with Architectural Review Board and are planning to incorporate their recommendations. Mr. Mai advised that they will also be requesting a variance for the pitched roof element and are looking on doing an enhanced landscape buffer along 549 as a compensatory measure.

335 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on July 13, 2021.
336

337 21. **SP2021-020 (RYAN MILLER)**

338 Discuss and consider a request by Josh Millsap of KFM Engineering & Design on behalf of the Estate of Billy W. Peoples and Myreli, LLC for the
339 approval of a *Site Plan* for a *Multi-Family Apartment Building* on a 3.338-acre tract of land identified as Lots 1, 2, 3, 4, 5, 6, 7, & 8, Block P and Lots
340 1 & 2, Block AB, Rockwall OT Addition and Lots 4 & 5, Block A and Lots 4 & 5, Block B, Lowe & Allen Addition, City of Rockwall, Rockwall County,
341 Texas, zoned Downtown (DT) District, situated at the southwest corner of the intersection of SH-66 and SH-205 [*N. Goliad Street*], and take any
342 action necessary.
343

344 Chairman Chodun asked the applicant to come forward.
345

346 Erik Earnshaw
347 4595 Excel Pkwy
348 Addison, TX 75001
349

350 Mr. Earnshaw came forward and provided a brief summary in regards to the request. The applicant is proposing a multi-family development
351 at the corner of S. Alamo and Washington Street. The main focal point and main access to the club leasing facility will be at East
352 Washington Street and S. Alamo Street. This will be a 263-unit product atop a parking structure. Along with many amenities, there will be
353 a rooftop observation deck and lounge.
354

355 Commissioner Deckard had questions regarding parking and access to the parking lot. He recommended that the applicant add some car
356 diagrams for the next meeting. Commissioner Deckard wanted to confirm that this use was zoned by right in the district.
357

358 Mr. Miller added that the Downtown District does allow multi-family under certain restrictions. A new police parking lot will be constructed
359 and incorporated as part of this development. It will have to be segregated from the general population parking areas as well as from the
360 traffic areas. In addition, the zoning in the district does allow multi-family but will require direct access onto the roadways. At the moment,
361 staff hasn't identified any minor waivers that will be presented before the Commission. Bicycle parking will also be available due to the
362 ordinance requiring it.
363

364 Commissioner Womble asked what the total unit count for the condos was.

365 Commissioner Deckard asked if Staff had accurate mapping of the cemetery adjacent to the subject property.

366 Commissioner Moeller asked how many spaces would be allocated for the police parking.

367 Commissioner Thomas asked if there was an estimate in the number of one-bedroom, two-bedroom, and three-bedroom units.

368 Commissioner Conway asked about the major entry and exit.

369 Chairman Chodun asked the applicant if he had considered retail in the lower areas.

370 Vice Chairman Welch added that the applicant may want to get in touch with the Downtown Association.

371 Commissioner Thomas inquired about having a delivery area set up.
372

373 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on July 13, 2021.
374

375 22. **SP2021-018 (DAVID GONZALES)**

376 Discuss and consider a request by Kevin Patel of Triangle Engineering, LLC on behalf of Gene Cooper of GotRock Properties, LLC for the approval
377 of a *Site Plan* for two (2) *office buildings* on a 1.128-acre tract of land identified as Lots 2 & 4, Block A, North Lake Shore Daycare Addition, City of
378 Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for General Retail (GR) District land uses, addressed as 1942
379 & 1944 N. Lakeshore Drive, and take any action necessary.
380

381 Planning and Zoning Manager David Gonzales indicated that the Architectural Review Board had reviewed this and staff would be getting
382 with the applicant to go over comments made by the ARB. They're looking to have some shrubbery added to the back façade as well as
383 some windows.
384

385 Chairman Chodun asked the applicant to come forward.
386

387 Ernesto Miranda
388 Magellan Architects
389

390 Mr. Miranda came forward and was prepared to answer questions.
391

392 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on July 13, 2021.
393

394 23. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).
395

- 396 • P2021-026: Preliminary Plat for the Winding Creek Subdivision [APPROVED]
- 397 • Z2021-014: Zoning Change (AG to PD) for Klutts Farm [APPROVED; 1st READING]
- 398 • Z2021-015: SUP for a Residential Infill at 511 S. Clark Street [APPROVED; 1st READING]
- 399 • Z2021-016: SUP for an Accessory Building at 361 Willowcrest [WITHDRAWN]
- 400 • Z2021-017: Zoning Change (AG to LI) on Airport Road [APPROVED; 1st READING]
- 401 • Z2021-018: Zoning Change (AG to LI) on Corporate Crossing [APPROVED; 1st READING]
- 402 • Z2021-019: Comprehensive Plan Update [APPROVED; 1st READING]

403
404 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council**
405 **meeting.**

406
407 VI. ADJOURNMENT

408
409 **Chairman Chodun adjourned the meeting at 7:22 PM.**

410
411 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of ____
412 _____, 2021.

413
414 _____
415 Eric Chodun, Chairman
416

417 Attest:

418 _____
419 Angelica Gamez, Planning and Zoning Coordinator
420
421



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 13, 2021
APPLICANT: Aaron Selden
CASE NUMBER: P2021-033; *Lots 1 & 2, Block A, Aaron Selden Addition (ETJ)*

SUMMARY

Discuss and consider a request by Aaron Selden for the approval of a Final Plat for Lots 1 & 2, Block A, Aaron Selden Addition being a 5.74-acre tract of land identified as Tracts 5-05, 5-06, & 5-12 of the J. Simmons Survey, Abstract No. 190, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 260 Anna Cade Road, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Final Plat for a 5.74-acre tract of land, creating *Lots 1 & 2, Block A, Aaron Selden Addition*, which is identified as Tracts 5-05, 5-06, & 5-12 of the J. Simmons Survey, Abstract No. 190 and is situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ). The purpose of the final plat is to subdivide the subject property into two (2) lots (*i.e. Lots 1 & 2, Block A, Aaron Selden Addition*). The subject property is generally located on the west side of Anna Cade Road in Rockwall County.
- The proposed final plat is subject to the requirements of Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and **Exhibit 'A'**, *Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall*, of the *Interim Interlocal Agreement between Rockwall County and the City of Rockwall*.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by Chapter 38, Subdivisions, of the Municipal Code of Ordinances and Exhibit 'A' of the Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances and **Exhibit 'A'** of the *Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall*.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for *Lots 1 & 2, Block A, Aaron Selden Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to filing of the plat with Rockwall County; and,
- (2) The applicant shall have the city approved plat mylar signed by the Rockwall County Judge prior to staff accepting the plat for filing purposes; and,

- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-033

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 260 ANNA CADE RD.

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RESIDENTIAL

CURRENT USE RESIDENTIAL

PROPOSED ZONING RESIDENTIAL

PROPOSED USE RESIDENTIAL

ACREAGE 5.74

LOTS [CURRENT] 2

LOTS [PROPOSED] 2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER AARON SELDEN

APPLICANT AARON SELDEN

CONTACT PERSON AARON SELDEN

CONTACT PERSON AARON SELDEN

ADDRESS 260 ANNA CADE RD.

ADDRESS 260 ANNA CADE RD.

CITY, STATE & ZIP ROCKWALL, TX 75087

CITY, STATE & ZIP ROCKWALL, TX 75087

PHONE 972-322-7282

PHONE 972-322-7282

E-MAIL ajslandscaping@yahoo.com

E-MAIL ajslandscaping@yahoo.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Aaron Selden [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

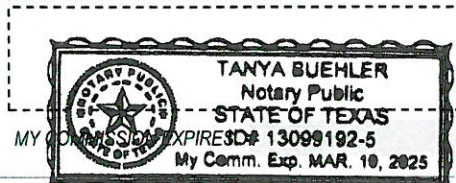
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 414.80 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF June, 20 21 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF June, 20 21


OWNER'S SIGNATURE

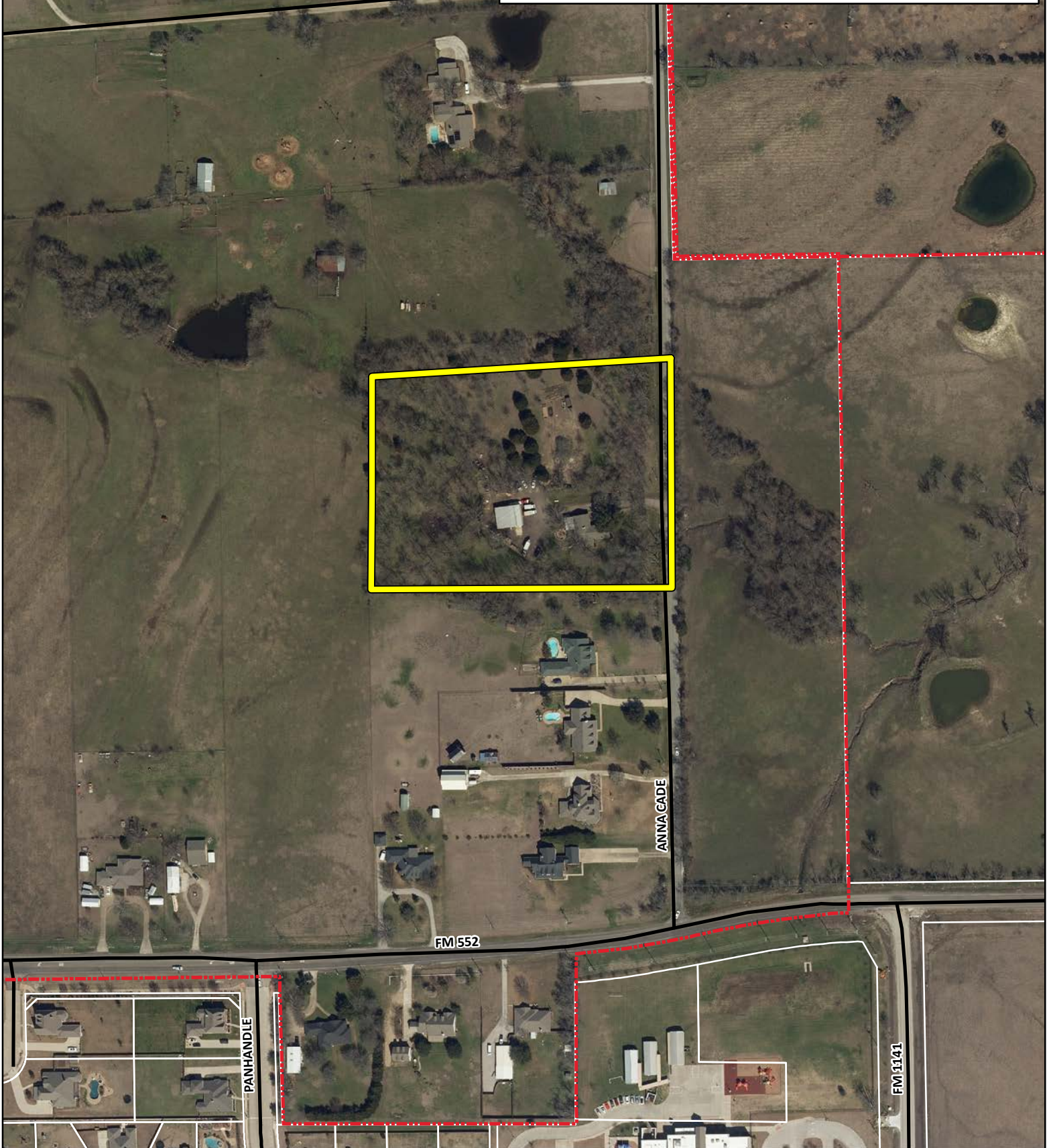
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 80 160 320 480 640 Feet

P2021-033- LOTS 1 & 2, BLOCK A, AARON SELDEN ADDITION
FINAL PLAT - LOCATION MAP = 

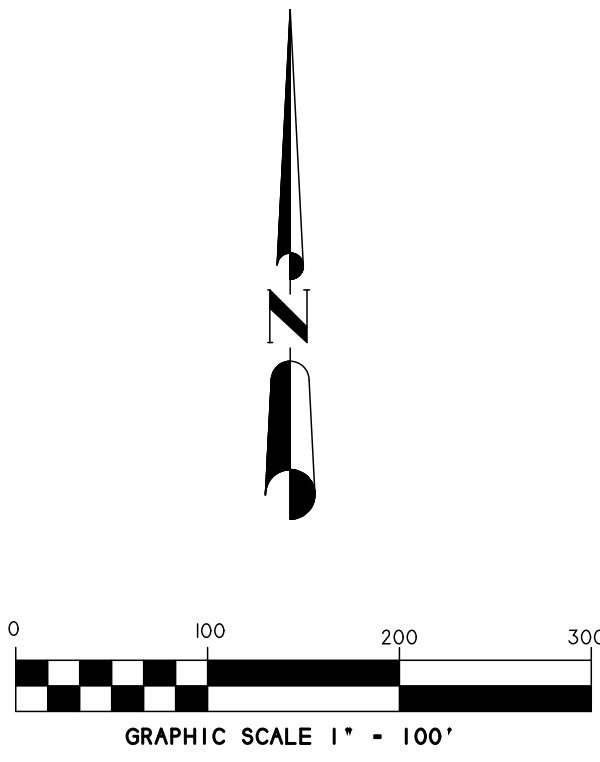
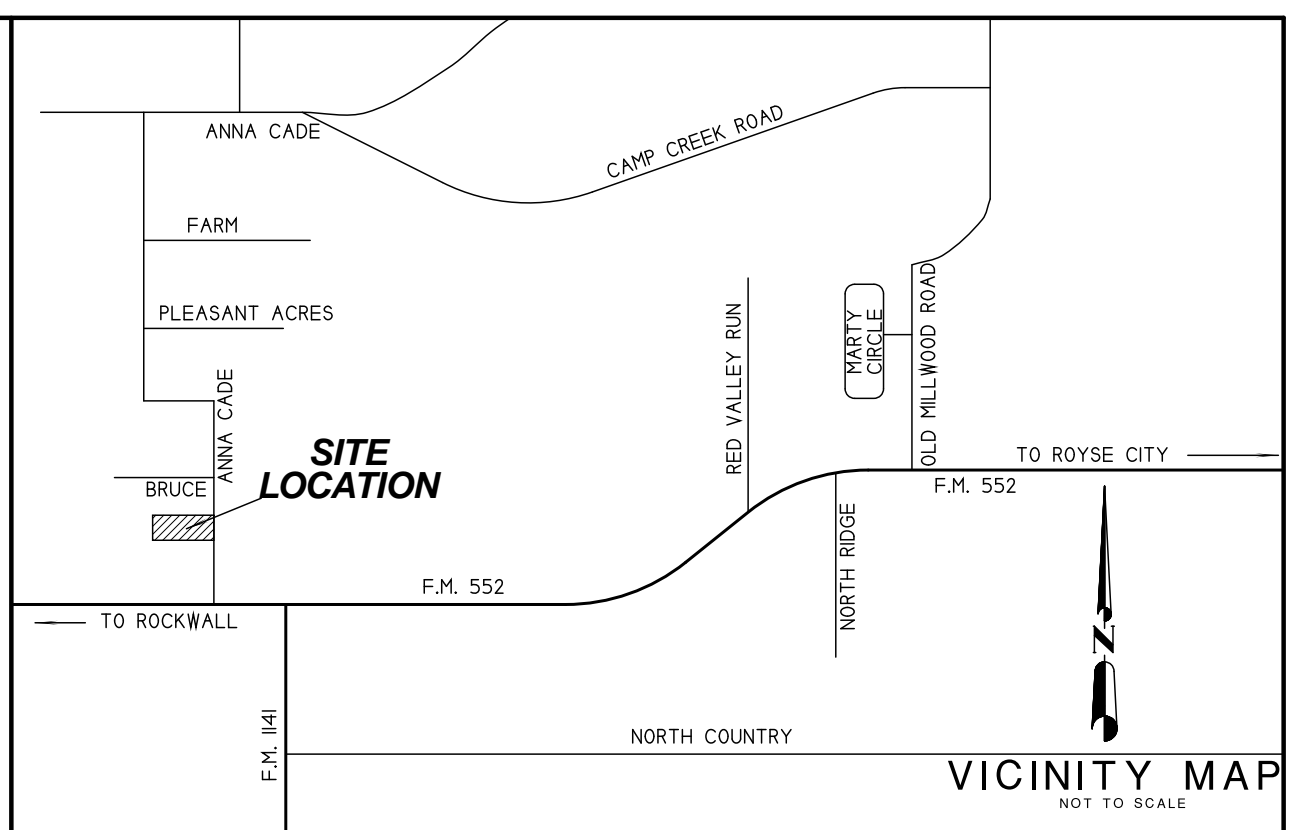
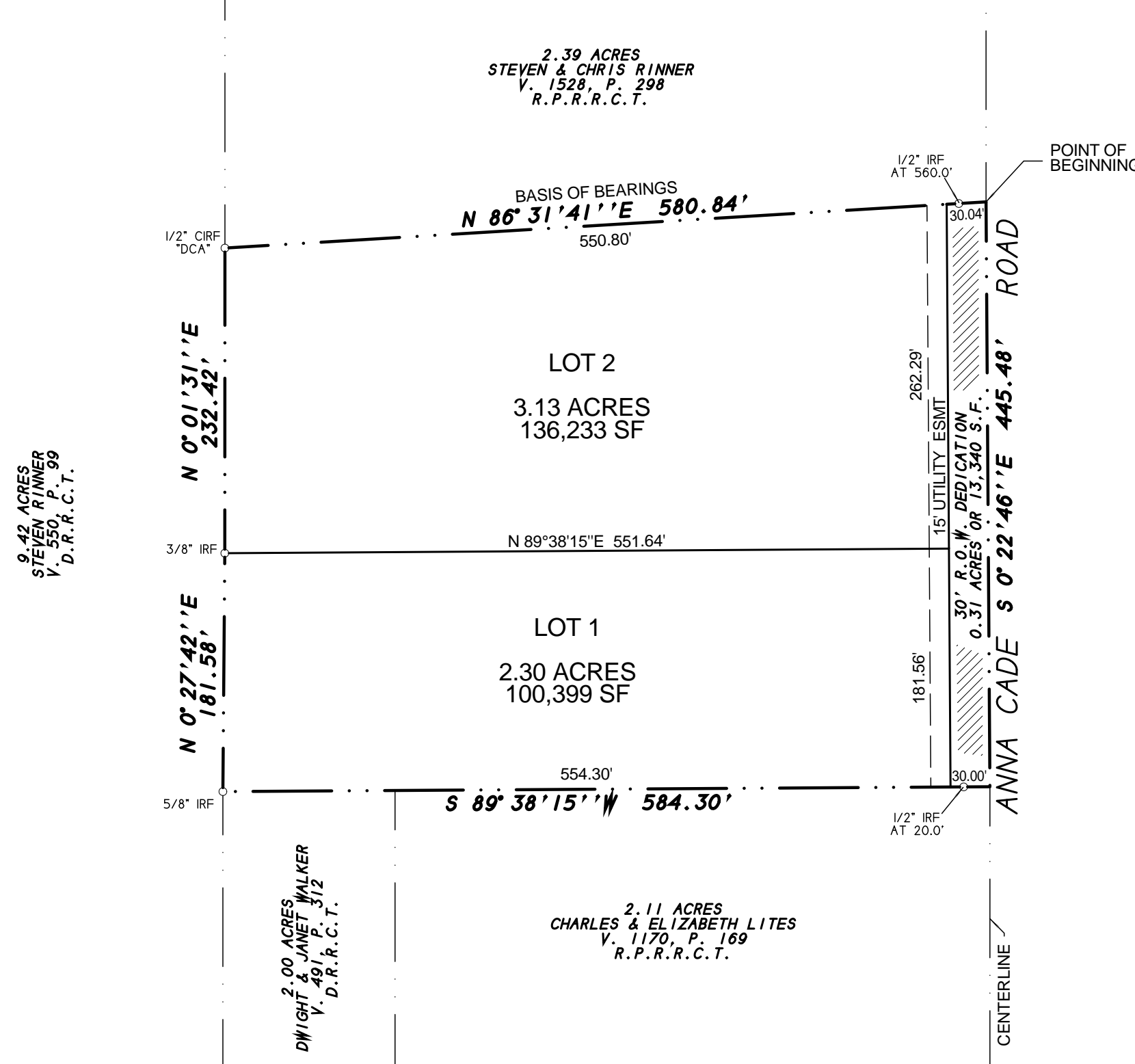


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





FINAL PLAT

AARON SELDEN ADDITION

LOTS 1 & 2, BLOCK A

5.74 ACRES OR 249,972 S.F.
 (2 LOTS)

JOHN SIMMONS SURVEY, A-190
 IN THE E.T.J. OF
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0035 L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
 - 2) BEARING SOURCE: RECORDED DEED IN VOLUME 1528, PAGE 298, R.P.R.R.C.T.
 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
 - 4) PROPERTY OWNER TO MAINTAIN, REPAIR, AND REPLACE DRAINAGE SYSTEMS ON SITE.

OWNER:
 AARON SELDEN
 260 ANNA CADE ROAD
 ROCKWALL, TEXAS 75087

SHEET 1 OF 2

SYMBOL LEGEND

TELEVISION	GAS	TEL	PH	FP
CABLE RISER	METER	RISER	HYDRANT	POLE
ELEC	ELEC	WATER	LP	1/2" IRF
ELECTRIC	BOX	METER	POLE	FOR 90° FOUND
METER	SUBSURFACE	JUNCTION BOX	LIGHT	(CORNER)
—*—	—	—	—	—
FENCE	EASEMENT LINE	PROPERTY LINE	AIR COND. UNIT	PROPANE TANK

SURVEY DATE: JUNE 1, 2021
 SCALE: 1" = 100' FILE # 20062058-FP
 CLIENT: SELDON

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CASE NO. P2021-

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS Aaron Selden, Being the owners of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the JOHN SIMMONS SURVEY, ABSTRACT NO. 190, Rockwall County, Texas, and being a part of that tract of land as described in a Quitclaim Deed from Connie Eubank to Sherri Lynn Eubank Kelley, dated May 22, 1989 and being recorded in Volume 485, Page 315 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a point for corner in the center of Anna Cade Road, at the Southeast corner of a 2.392 acres tract of land as described in a Warranty deed from Sherri Lynn Eubank Kelley to Steve Rinner and Chris Rinner, dated December 16, 1998 and being recorded in Volume 1528, Page 298 of the Real Property Records of Rockwall County, Texas, said point being S. 00 deg. 22 min. 46 sec. E., 365.00 feet from the Northeast corner of a 58.28 acres tract of land as described in a Deed to Sam R. Eubank, as recorded in Volume 39, Page 175 of the Deed Records of Rockwall County, Texas;

THENCE S. 00 deg. 22 min. 46 sec. E. along the center of Anna Cade Road, a distance of 445.48 feet to a point for corner at the Northeast corner of a 2.1116 acres tract of land as described in a Warranty deed from C.L. Castillo Builders, Inc. to Charles Duane Lites and Elizabeth Ann Lites, dated October 14, 1996 and being recorded in Volume 1170, Page 169 of the Real Property Records of Rockwall County, Texas;

THENCE S. 89 deg. 38 min. 15 sec. W., at 20.00 feet pass a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for witness and continuing for a total distance of 584.30 feet to a 5/8" iron rod found for corner in the East line of a 9.42 acres tract as described in a Warranty deed from Don C. Eubank to Steven Rinner, as recorded in Volume 550, Page 99 of the Real Property Records of Rockwall County, Texas, said point being at the Northwest corner of a 2.00 acres tract of land as described in a Warranty deed from Joanne Page to Dwight L. Walker and Janet S. Walker, dated August 21, 1989 and being recorded in Volume 491, Page 312 of the Real Property Records of Rockwall County, Texas;

THENCE N. 00 deg. 27 min. 42 sec. E. along the East line of said 9.42 acres tract, a distance of 181.58 feet to a 3/8" iron rod found for corner;

THENCE N. 00 deg. 01 min. 31 sec. E. along the East line of said 9.42 acres tract, a distance of 232.42 feet to a 1/2" iron rod found for corner at the Southwest corner of said 2.392 acres tract;

THENCE N. 86 deg. 31 min. 41 sec. E. (Basis of Bearings) along the South line of said 9.42 acres tract, at 560.00 feet pass a 1/2" iron rod found for witness and continuing for a total distance of 580.84 feet to the POINT OF BEGINNING and containing 5.74 acres of land, of which 0.31 acres lies within Anna Cade Road.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as AARON SELDEN ADDITION, LOTS 1 & 2, BLOCK A, an Addition to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in AARON SELDEN ADDITION, LOTS 1 & 2, BLOCK A, have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City of Rockwall and County; or
- Property owner shall be responsible for maintaining, repairing and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city and county to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the County be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

AARON SELDEN

Notary Public in and for the State of Texas

My Commission Expires: _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of AARON SELDEN ADDITION, LOTS 1 & 2, BLOCK A, an addition to the Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall _____

City Secretary City of Rockwall _____

City Engineer _____

Date _____

Rockwall County Judge _____

Date _____

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

FINAL PLAT
AARON SELDEN ADDITION
LOTS 1 & 2, BLOCK A

5.74 ACRES OR 249,972 S.F.
(2 LOTS)

JOHN SIMMONS SURVEY, A-190
IN THE E.T.J. OF
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

SYMBOL LEGEND	
⊙	TV
⊕	GAS
⊗	TEL
⊖	PH
⊙	PP
⊕	CABLE RISER
⊗	GAS RISER
⊖	PHONE RISER
⊙	FIRE RISER
⊕	HYDRANT
⊗	POWER POLE
⊖	ELEC
⊙	ELEC BOX
⊕	METER
⊗	LIGHT POLE
⊖	1/2" RIF
⊙	RAW FOUND
⊕	1 CORNER
⊗	ELECTRIC SUBSTATION JUNCTION BOX
⊖	POLE
⊙	1 CORNER
⊕	AVC
⊗	AIR CORDEL UNIT
⊖	PROPANE TANK
---	EASEMENT LINE
---	PROPERTY LINES

SURVEY DATE JUNE 1, 2021
SCALE 1" = 100' FILE # 20062058-FP
CLIENT SELDON

OWNER:
AARON SELDEN
260 ANNA CADE ROAD
ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CASE NO. P2021-



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 13, 2021
APPLICANT: Bart Carroll
CASE NUMBER: P2021-036; *Preliminary Plat for Phase 2 of the Landon Subdivision*

SUMMARY

Discuss and consider a request by Bart Carroll for the approval of a Preliminary Plat for Phase 2 of the Landon Subdivision being a 94.273-acre tract of land identified as a portion of Tract 13 of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the southwest corner of the intersection of S. Munson Street and Streetman Road, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Preliminary Plat for a single-family residential subdivision (*i.e. The Landon, Phase 2 Addition*), which will be situated on a 94.273-acre tract of land located within the City of Rockwall's Extraterritorial Jurisdiction (ETJ). According to the preliminary plat, the development will consist of 50 single-family residential lots that will be a minimum of 1½-acres in size. The development will be accessible via a 50-foot roadway (*i.e. Streetman Road*) that will connect to the existing S. Munson Road, which is the main entrance to Phase 2. The preliminary plat also shows that an additional 30-feet of right-of-way will be dedicated to S Munson Road. This dedication conforms to the *Rockwall County Thoroughfare Plan*.
- In addition to the preliminary plat, the applicant has submitted preliminary drainage and utility plans indicating how the development will be served. According to Section 38-5(d)(1), *Policy*, of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances, "(l)and proposed for development in the city and in the city's extraterritorial jurisdiction must be served adequately by essential public facilities and services, including water facilities, wastewater facilities, roadway and pedestrian facilities, drainage facilities and park facilities Land shall not be approved for platting or development unless and until adequate public facilities necessary to serve the development exist or provision has been made for the facilities whether the facilities are to be located within the property being developed or offsite." The applicant's proposed preliminary plat appears to show the provision of sufficient public facilities; however, *Phase 2 of The Landon Addition* is served by two (2) water districts that hold the Certificate of Convenience and Necessity (CCN) [*i.e. Cash Special Utility District & Blackland Water Supply Corporation*] for a portion of the subject property. Additionally, the applicant has provided a *Will Serve Letter* from Cash Special Utility District during *Phase 1* indicating this district holds the Certificate of Convenience and Necessity (CCN) for the subject property, and will suffice for that portion of *Phase 2* of the development. However, staff has requested that the applicant either provide a will serve letter from Blackland Water Supply Corporation or a letter releasing the CCN from Blackland Water Supply Corporation (WSC) to Cash Special Utility District (SUD) prior to the approval of a final plat in order to show adequate service of the subject property. This has been added as a condition of approval.
- The purpose of the *preliminary plat* is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and *Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall*, of the *Interim Interlocal Agreement between Rockwall County and the City of Rockwall*. In addition, the preliminary plat is required to meet all of the requirements of the *Interim Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality between Rockwall County and the City of Rockwall*, the City of Rockwall's *Standards of Design and Construction Manual*, and Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by Chapter 38, Subdivisions, of the Municipal Code of Ordinances and Exhibit 'A' of the Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances and *Exhibit 'A'* of the *Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall*.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the *Preliminary Plat* for *Phase 2 of the Landon Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans.
- (2) The applicant provide a will serve letter from Blackland Water Supply Corporation (WSC) or a letter releasing the CCN from Blackland Water Supply Corporation (WSC) to Cash Special Utility District (SUD) prior to the approval of a final plat for the subject property.
- (3) Any construction resulting from the approval of this *Preliminary Plat* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-036

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *Phillips*

CITY ENGINEER: *[Signature]*

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **west intersection of Streetman Road and S. Munson Road**

SUBDIVISION **The Landon Phase Two**

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE **94.273**

LOTS [CURRENT] **0**

LOTS [PROPOSED] **50**

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Robert John Crowell**

APPLICANT **Carroll Consulting Group, Inc.**

CONTACT PERSON

CONTACT PERSON **James Bart Carroll**

ADDRESS **P.O. Box 466**

ADDRESS **P.O. Box 11**

CITY, STATE & ZIP **Royse City, TX 75189**

CITY, STATE & ZIP **Lavon, TX 75166**

PHONE **214-460-4444**

PHONE **972-742-4411**

E-MAIL **robertjcrowell@yahoo.com**

E-MAIL **bart.carroll@yahoo.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Robert John Crowell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

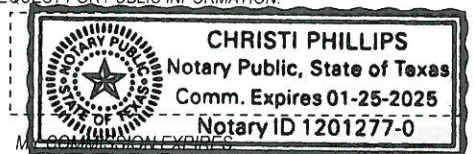
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF June, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF June, 2021.

OWNER'S SIGNATURE

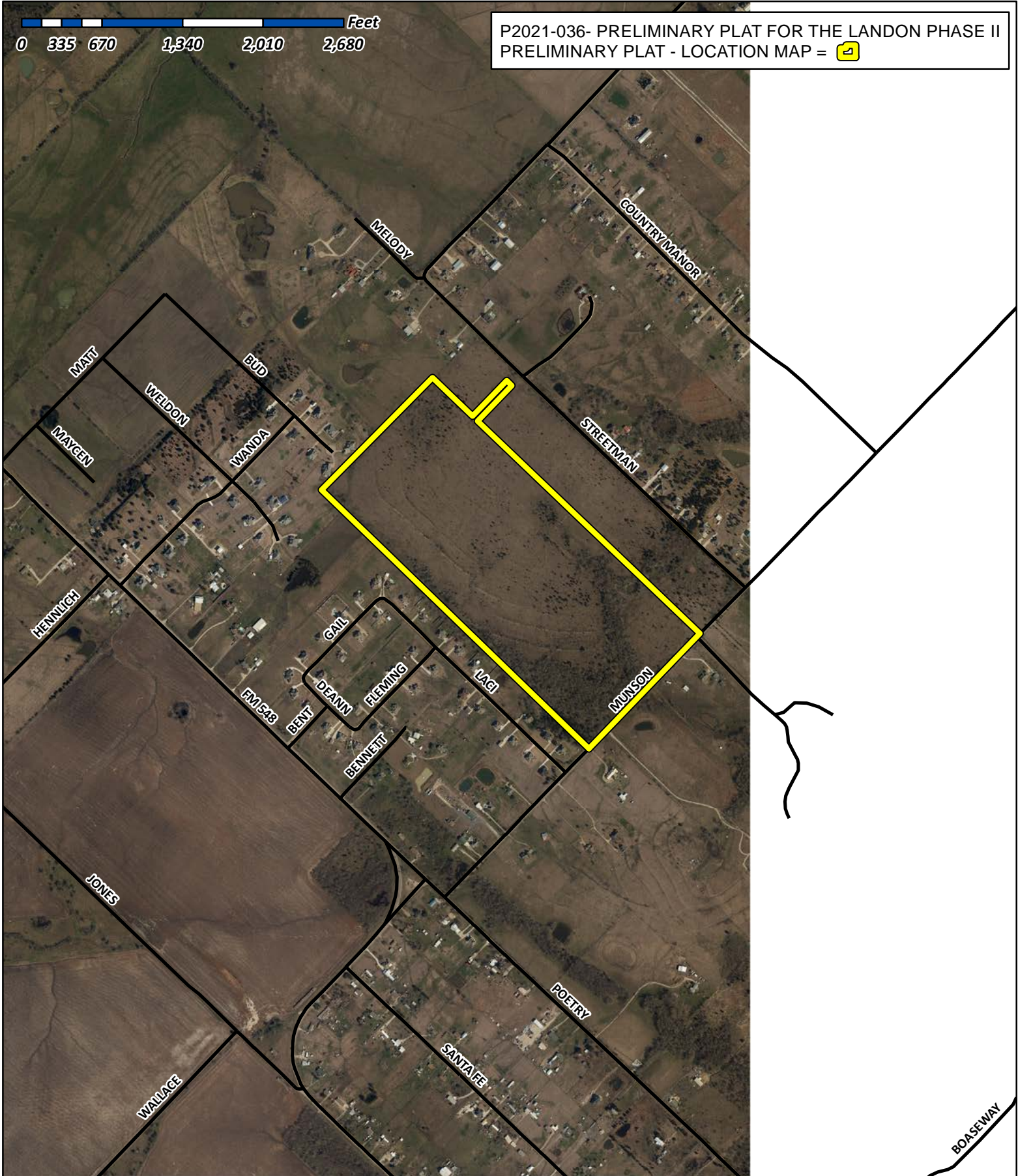
[Signature of Robert John Crowell]
[Signature of Christi Phillips]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 335 670 1,340 2,010 2,680 Feet

P2021-036- PRELIMINARY PLAT FOR THE LANDON PHASE II
PRELIMINARY PLAT - LOCATION MAP = 

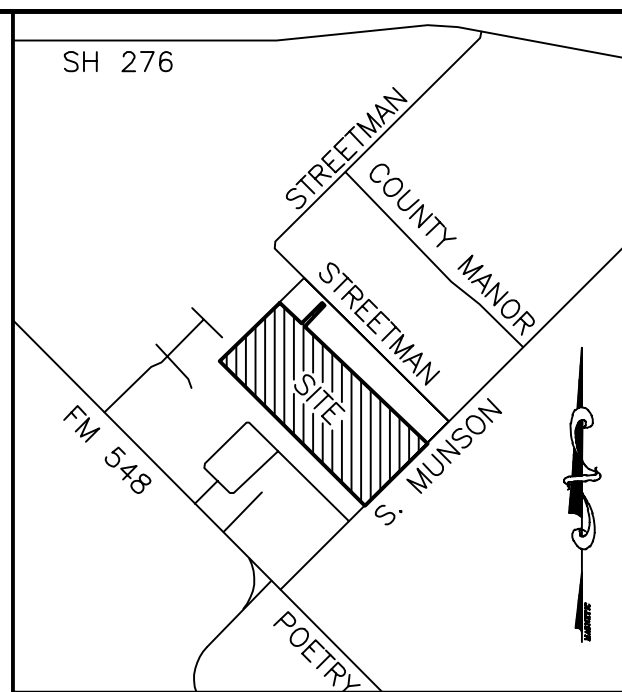
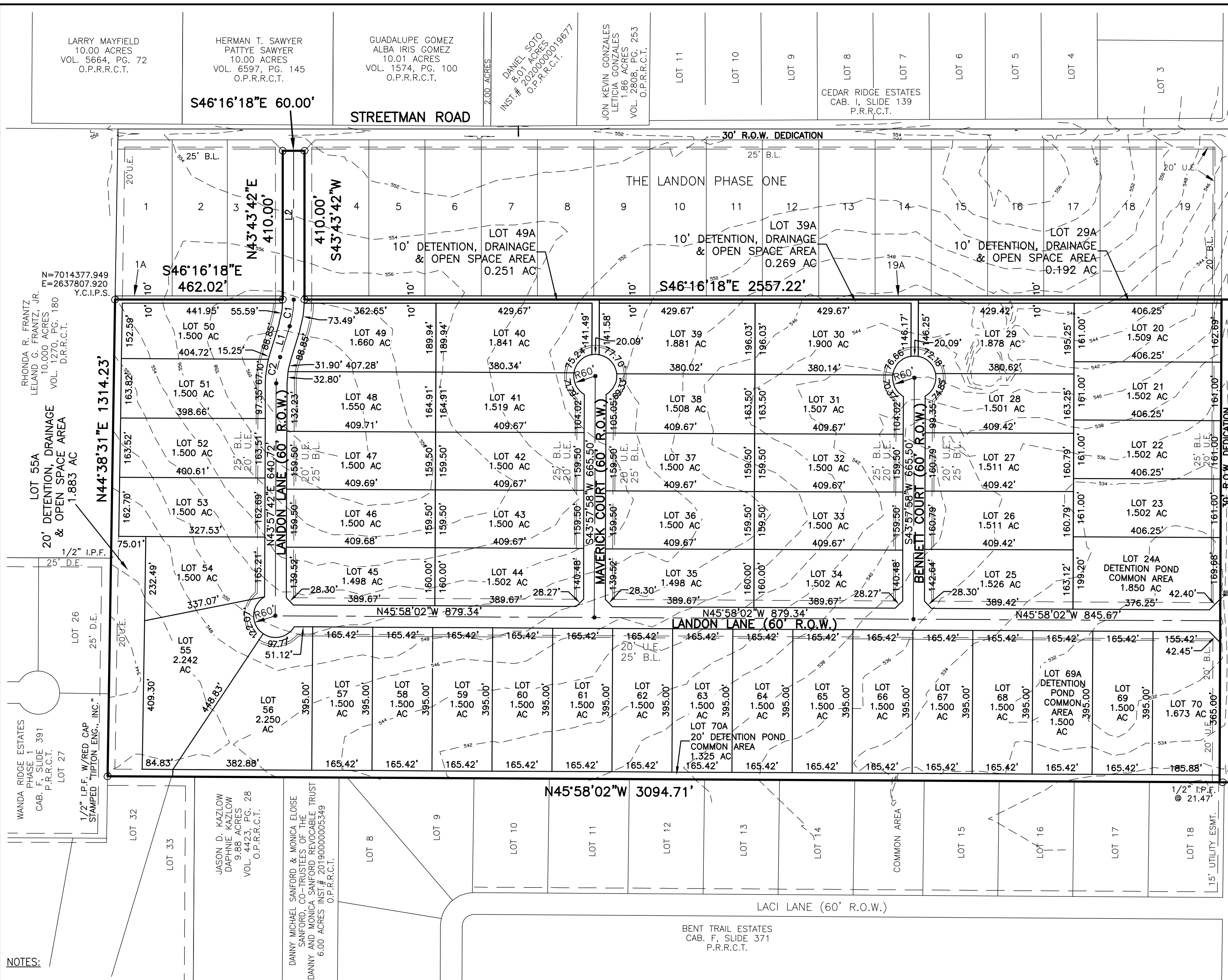


City of Rockwall

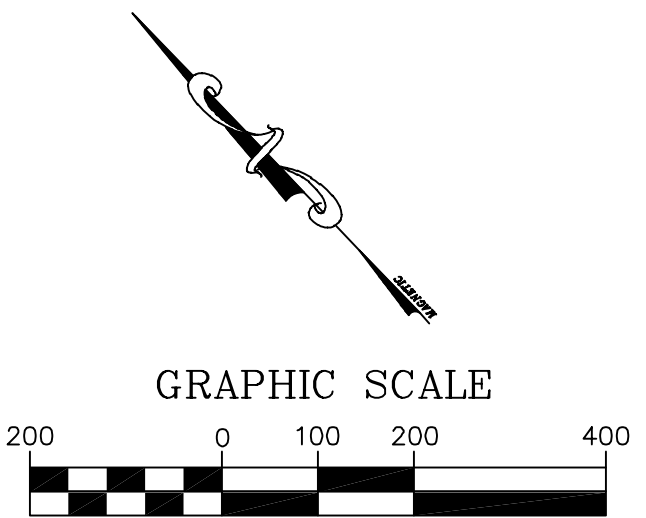
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LOCATION MAP (N.T.S.)



GRAPHIC SCALE

(IN FEET)
1 inch = 200 ft.

Line Table		
Line #	Direction	Length
L1	N60°48'44"E	88.85'
L2	N43°43'42"E	410.00'

Curve Table				
Curve #	Length	Radius	Delta	CHORD
C1	74.54'	250.00'	17°05'03"	N52°16'13"E, 74.27'
C2	73.53'	250.00'	16°51'03"	N52°23'13"E, 73.26'

POINT OF BEGINNING
N=7011291.816
E=2639109.361

- NOTES:**
1. Located in the City of Rockwall, Texas E.T.J.
 2. Water supplied by Cash SUD.
 3. State Plain Coordinates ties to City of Rockwall Geodetic Control Monument Station COR-20.
 4. All drainage and detention easements shall be maintained, repaired, and replaced by the property owner.
 5. All lots to use on-site sewage facilities. Rockwall County to review and approve the sewage disposal method. OSSF permits are required prior to construction.

NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

Bearings based on the Texas State Plane Coordinate System NAD 83, North Central Zone (4202), North American Datum of 1983.

LEGEND

M.N.S. - MAG NAIL SET
I.P.F. - IRON PIN FOUND
D.R.R.C.T. - DEED RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
Y.C.I.P.S. - ALL CORNERS SHALL BE A 1/2" IRON PIN SET WITH YELLOW CAP STAMPED "CCG INC RPLS 5129" UNLESS OTHERWISE NOTED.

FLOOD NOTE:

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 48397C0065L, DATED SEPTEMBER 26, 2008, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, TEXAS, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

OWNER:
ROBERT JOHN CROWELL
PO BOX 466
ROYSE CITY, TEXAS 75189
PHONE: (214) 460-4444

PRELIMINARY PLAT
THE LANDON PHASE TWO
LOTS 20-70 & LOTS 29A, 39A, 49A,
55A, 69A & 70A, BLOCK A
50 Residential Lots
Being 94.273 - Acres of Land
Samuel McFadgin Survey, Abstract No. 142
Situated within the
Extraterritorial Jurisdiction (ETJ)
of the City of Rockwall
Rockwall County, Texas
Case No.: P2021-036

CARROLL CONSULTING GROUP, INC.
972-742-4411
TEXAS FIRM REGISTRATION NO.: 10007200
TBPELS REGISTRATION NO.: F-21608

JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	JULY 6, 2021	CP

STATE OF TEXAS
COUNTY OF ROCKWALL

OWNER'S CERTIFICATE

Whereas, Robert John Crowell is the owner of a tract of land situated in the Samuel McFadgin Survey, Abstract No. 142, Rockwall County, Texas, and being the same called 65 acre tract land and 65.8 acre tract of land as conveyed to Mildred Ann Howell Williams by deed recorded in Volume 152, Page 853, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a point for the south corner of said 126.903 acre tract and being in the center of S. Munson Road;

Thence, North 45°58'02" West, along the southwest line of said 65.8 acre tract, the southwest line of said 65 acre tract, the northeast line of Bent Trail Estates, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 371, Plat Records, Rockwall County, Texas, the northeast line of a 6.00 acre tract of land conveyed to Danny Michael Sanford and Monica Eloise Sanford, Co-Trustees of the Danny and Monica Sanford Revocable Trust by deed recorded in Instrument No. 2019000005349, Official Public Records, Rockwall County, Texas, the northeast line of a 9.88 acre tract of land conveyed to Jason D. Kazlow and Daphnie Kazlow by deed recorded in Volume 4423, Page 28, Official Public Records, Rockwall County, Texas and an east line of Wanda Ridge Estates Phase 1, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 391, Plat Records, Rockwall County, Texas, passing at a distance of 21.47 feet a 1/2" iron pin found and for a total distance of 3094.71 feet to a 1/2" iron pin found with red cap stamped "TIPSON ENG. INC." for the west corner of said 65 acre tract and a re-entrant corner of said Wanda Ridge Estates Phase 1;

Thence, North 44°38'31" East, along the northwest line of said 65 acre tract, a southeast line of said Wanda Ridge Estates Phase 1 and the southeast line of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas, a distance of 1314.23 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, South 46°16'18" East, a distance of 462.02 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, North 43°43'42" East, a distance of 410.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, South 46°16'18" East, a distance of 60.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, South 43°43'42" West, a distance of 410.00 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, South 46°16'18" East, a distance of 2557.22 feet to a mag nail set for corner on the southeast line of said 65.8 acre tract and in the center of S. Munson Road;

Thence, South 43°57'58" West, along the southeast line of said 65.8 acre tract and the center of S. Munson Road, a distance of 1330.52 feet to the Point of Beginning and containing 4,106,540 square feet or 94.273 acres of land.

Planning & Zoning Commission, Chairman

Date

APPROVED:
I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 20____ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 20____.

Mayor, City of Rockwall

City Secretary

City Engineer

Rockwall County Judge

Date

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE LANDON PHASE TWO subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the The Landon Phase Two subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

(1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

(2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

(3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

(4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

(5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

(6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall; or

(7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the ____ day of _____, 2021.

Robert John Crowell, Owner

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared Robert John Crowell, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS ____ DAY OF _____, 2021.

Notary Public for the State of Texas
My Commission expires _____

SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

James Bart Carroll
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____, 2021.

Notary Public in and for the State of Texas.
My commission expires: _____

PRELIMINARY PLAT

THE LANDON PHASE TWO
LOTS 20-70 & LOTS 29A, 39A, 49A,
55A, 69A & 70A, BLOCK A

50 Residential Lots
Being 94.273 - Acres of Land

Samuel McFadgin Survey, Abstract No. 142
Situated within the
Extraterritorial Jurisdiction (ETJ)

OWNER:
ROBERT JOHN CROWELL
PO BOX 466
ROYSE CITY, TEXAS 75189
PHONE: (214) 460-4444

of the City of Rockwall
Rockwall County, Texas
Case No.: P2021-036

CARROLL CONSULTING GROUP, INC.

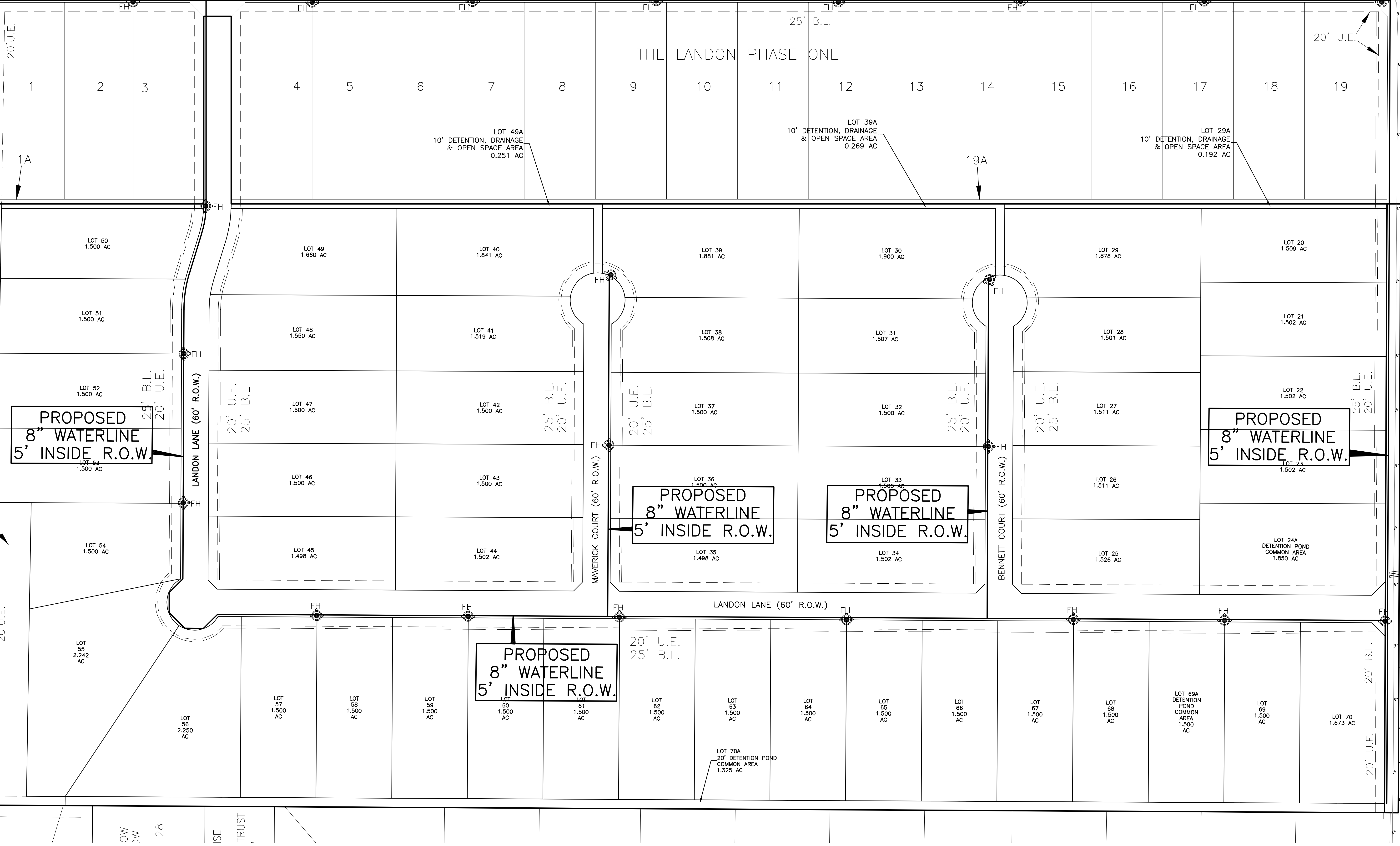
P.O. BOX 11
LAVON, TEXAS 75166
972-742-4411
TEXAS FIRM REGISTRATION NO.: 10007200
TBPELS REGISTRATION NO.: F-21608

JOB No.	SCALE:	DATE PREPARED:	DRAWN BY:
2759-20	1"=200'	JULY 6, 2021	CP

8" WATERLINE STREETMAN ROAD

THE LONDON PHASE ONE

P.R.R.C.T.



PROPOSED 8" WATERLINE 5' INSIDE R.O.W.

PROPOSED 8" WATERLINE 5' INSIDE R.O.W.

PROPOSED 8" WATERLINE 5' INSIDE R.O.W.

PROPOSED 8" WATERLINE 5' INSIDE R.O.W.

PROPOSED 8" WATERLINE 5' INSIDE R.O.W.

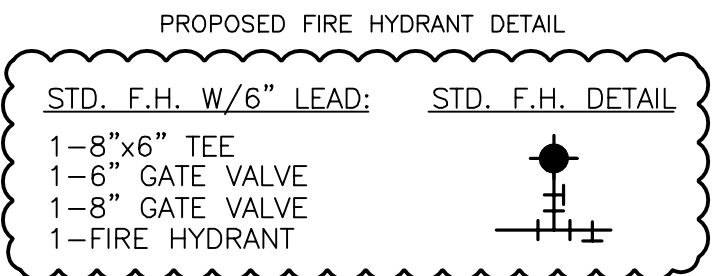
ALL INITIAL DEADEND WATER LINES NEED TO HAVE A FIRE HYDRANT WITH AUTOMATIC FLUSHING MECHANISM INSTALLED AT END.

ANY WATER VALVES DEEPER THAN 6 FEET NEED TO HAVE VALVE EXTENSIONS.

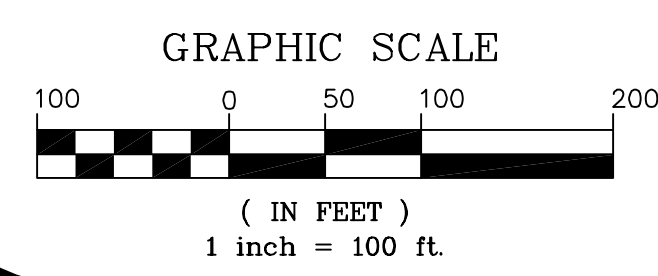
UTILITY CONTRACTORS TO PROVIDE AND INSTALL DUAL CHECK VALVES AT METER SERVICES.

ALL FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250/HS (HIGH SECURITY)

ALL WATER FITTINGS SHALL BE AWWA C-153 COMPACT DUCTILE IRON.

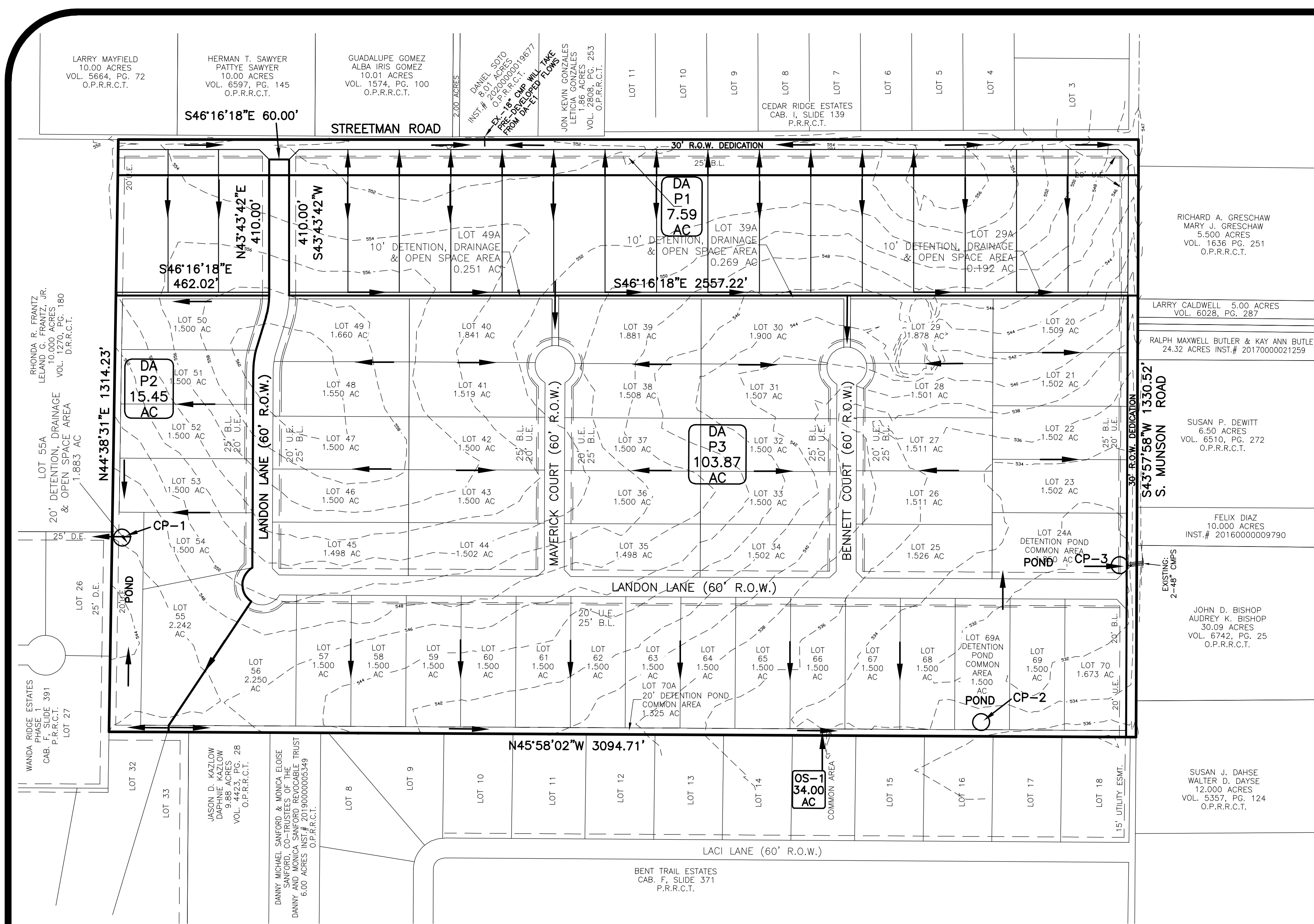


PROPOSED FIRE HYDRANT



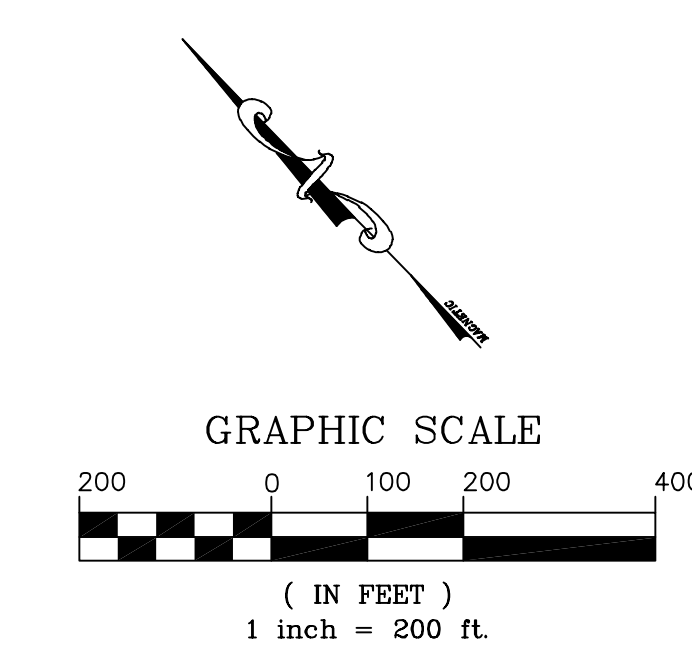
PRELIMINARY WATER PLAN			
Case No.: P2021-036			
THE LONDON PHASE TWO			
CARROLL CONSULTING GROUP, INC.			
P.O. BOX 11 PHONE: (972) 742-4411 TBPELS REG NO. F-21608			
LAVON, TEXAS 75166 TEXAS FIRM REGISTRATION NO.: 10007200			
DWG:	DATE:	SCALE:	DRAWN BY:
THE LONDON-2	JULY 8, 2021	1"=100'	CP

PROPOSED DRAINAGE AREAS

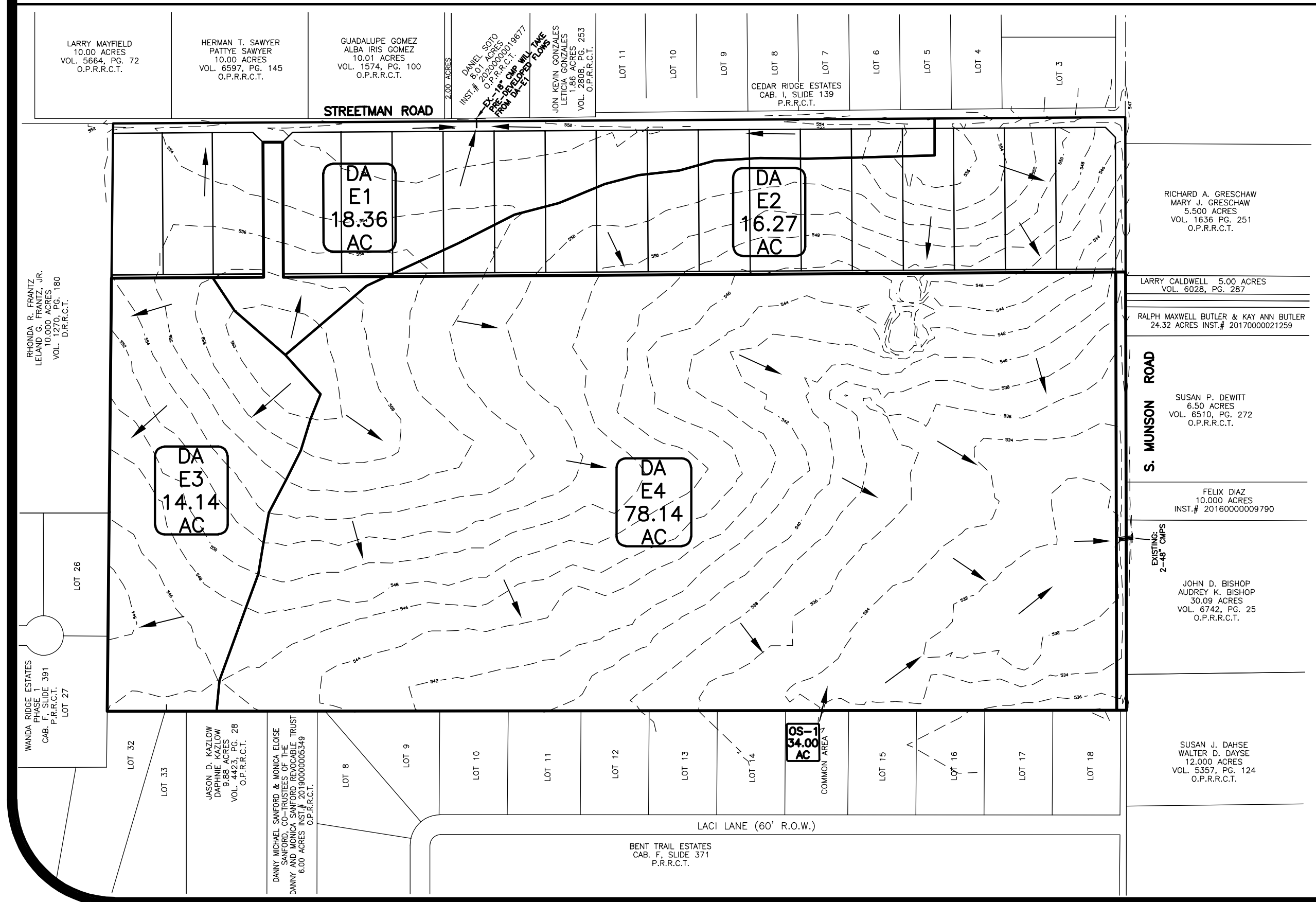


PROPOSED DRAINAGE AREAS				
Tc = 10 min.				
DA	ACRES	C	I100	Q100 cfs
DA-P1	7.59	0.500	9.80	37.19
DA-P2	15.45	0.500	9.80	75.71
DA-P3	103.87	0.500	9.80	508.96
OS-1	34.00	0.500	9.80	166.60
TOTALS	160.91			788.46

NOTES				
DA-P1	7.59	0.500	9.80	37.19
DA-P2	15.45	0.500	9.80	75.71
DA-P3	103.87	0.500	9.80	508.96
OS-1	34.00	0.500	9.80	166.60
DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD				
DRAINS TO CP-1, POND				
DRAINS TO CP-3, POND TO 2-48" RCPS				
DRAINS TO PR-3, SWALE TO CP-2, POND				

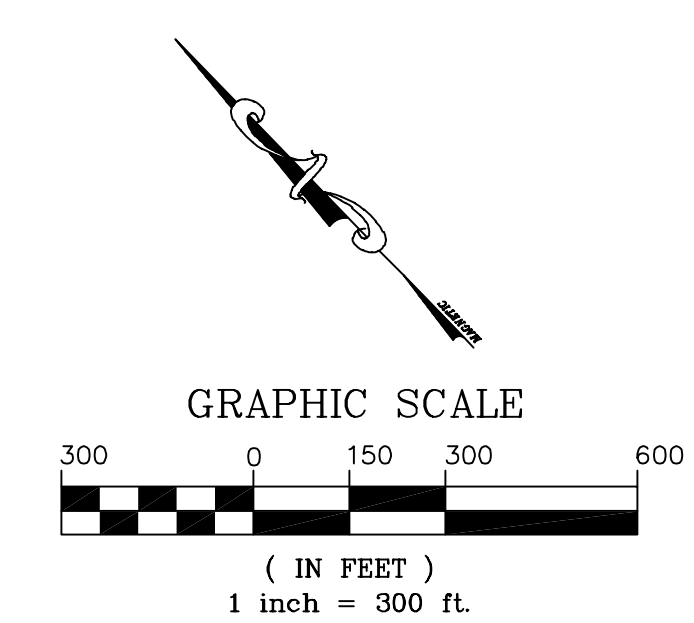


EXISTING DRAINAGE AREAS



EXISTING DRAINAGE AREAS				
Tc = 20 min.				
DA	ACRES	C	I100	Qcfs
DA-E1	18.36	0.350	8.30	53.34
DA-E2	16.27	0.350	8.30	47.26
DA-E3	14.14	0.350	8.30	41.08
DA-E4	78.14	0.350	8.30	227.00
OS-1	34.00	0.500	9.80	166.60
TOTALS	160.91			535.27

NOTES				
DA-E1	18.36	0.350	8.30	53.34
DA-E2	16.27	0.350	8.30	47.26
DA-E3	14.14	0.350	8.30	41.08
DA-E4	78.14	0.350	8.30	227.00
OS-1	34.00	0.500	9.80	166.60
DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD				
SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S				
SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S				
SHEET DRAINS TO S. MUNSON ROAD & OUT 2-48" R.C.P.S				
OUTFALL STRUCTURE DRAINS OUT TO 2-48" R.C.P.S.				



PRELIMINARY DRAINAGE PLAN

Case No.: P2021-036

THE LANDON PHASE TWO

CARROLL CONSULTING GROUP, INC.

P.O. BOX 11 PHONE: (972) 742-4411 TBPELS REG NO. F-21608
LAVON, TEXAS 75166 TEXAS FIRM REGISTRATION NO.: 10007200

DWG:	DATE	SCALE:	DRAWN BY:
THE LANDON-2	JULY 8, 2021	1"=200' & 300'	CP

3

BOUNDARY CLOSURE REPORT
THE STANDARDS PHASE TWO

North: 7011291.8159' East: 2639109.3613'

Segment #1 : Line

Course: N45° 58' 01.51"W Length: 3094.714'
North: 7013442.8633' East: 2636884.4456'

Segment #2 : Line

Course: N44° 38' 31.33"E Length: 1314.227'
North: 7014377.9499' East: 2637807.9204'

Segment #3 : Line

Course: S46° 16' 18.09"E Length: 462.018'
North: 7014058.5848' East: 2638141.7865'

Segment #4 : Line

Course: N43° 43' 41.91"E Length: 410.000'
North: 7014354.8613' East: 2638425.1947'

Segment #5 : Line

Course: S46° 16' 18.09"E Length: 60.000'
North: 7014313.3870' East: 2638468.5523'

Segment #6 : Line

Course: S43° 43' 41.91"W Length: 410.000'
North: 7014017.1104' East: 2638185.1441'

Segment #7 : Line

Course: S46° 16' 18.09"E Length: 2557.215'
North: 7012249.4623' East: 2640033.0534'

Segment #8 : Line

Course: S43° 57' 57.75"W Length: 1330.523'
North: 7011291.8166' East: 2639109.3619'

Perimeter: 9638.696' Area: 4106540.55 Sq.
Ft.

Error Closure: 0.0009 Course: N39° 10'
00.77"E

Error North: 0.00070 East: 0.00057

Precision 1: 10709663.333



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Henry Lee, *Planner*
DATE: July 13, 2021
SUBJECT: SP2021-016; *Amended Site Plan for Mi Cocina*

The applicant, Johnathan Thrall of Nimble Restoration Services, is requesting the approval of an Amended Site Plan for an existing *Restaurant [Mi Cocina]*. The subject property is a 1.41-acre parcel of land (*Lot 11, Block A, Rockwall Crossing Addition*) located within the IH-30 Overlay (IH-30 OV) District at 971 E. IH-30. The restaurant currently situated on the subject property is 6,316 SF and was constructed in 2005. In addition, an approximately 800 SF patio was constructed in 2011. The proposed site plan, building elevations, and landscape plan submitted by the applicant indicate that the following changes will be made to the subject property: [1] a Lueder stone wall will be constructed along the north and west building façade, [2] pavers will be installed to extend the patio along the west building elevation, and [3] a row of shrubs will be removed to make room for the new pavers.

The submitted amended site plan conforms to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District and the IH-30 Overlay (IH-30 OV) District. According to Subsection 06.06, *IH-30 Overlay (IH-30 OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the IH-30 Overlay (IH-30 OV) District should provide consistent development with “the most efficient and aesthetically pleasing appearance of the frontage, which serves as the initial impression to those visiting and passing through the City of Rockwall.” The proposed amended site plan appears to meet the intended purpose of the IH-30 Overlay (IH-30 OV) District set forth by the Unified Development Code (UDC).

On June 29, 2021 the Architectural Review Board reviewed the proposed building elevations and approved a motion to recommend approval of the proposed building elevations to the Planning and Zoning Commission by a vote of 4-0, with Board Members Miller, Mitchell, and Avenetti absent. Should the Planning and Zoning Commission have any questions concerning the applicant’s request, staff and the applicant will be available at the July 19, 2021 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2021-016

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 971 E. I-30 Rockwall, TX 75087

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER

M Crowd

APPLICANT

Nimble Restoration Services

CONTACT PERSON

Jonathan Dubroc

CONTACT PERSON

Johnathan Thrall

ADDRESS

350 E. Royal Lane
Bldg. 4 Suite 126

ADDRESS

330 Industrial Blvd. Ste 111

CITY, STATE & ZIP

Irving, TX 75039

CITY, STATE & ZIP

McKinney, TX 75069

PHONE

PHONE

214-429-7517

E-MAIL

E-MAIL

johnathan@nimblerestoration.com

NOTARY VERIFICATION (REQUIRED)

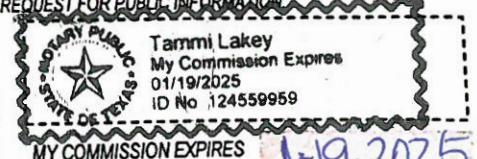
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jonathan Dubroc [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18TH DAY OF May, 2021.

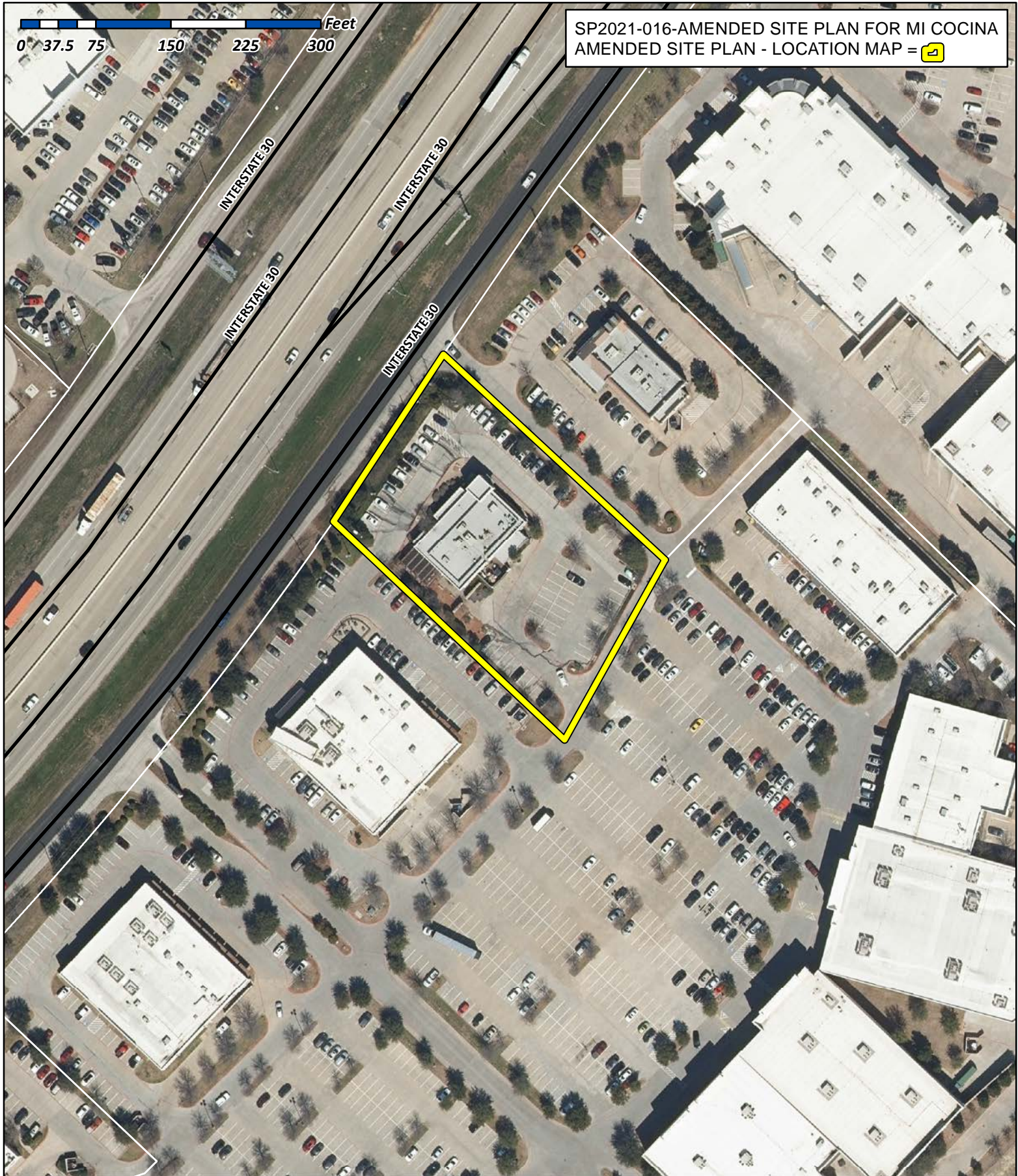
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





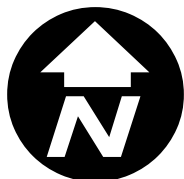
SP2021-016-AMENDED SITE PLAN FOR MI COCINA
AMENDED SITE PLAN - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



All the concrete will be 4000 Psi concrete with #3 rebar with the saw cuts. For the stain and seal I'll be using Ameripolish or possibly surecrete eco stain, depending on how it is accepting the stain, and a 3part Aliphatic Urethane for the topcoat.

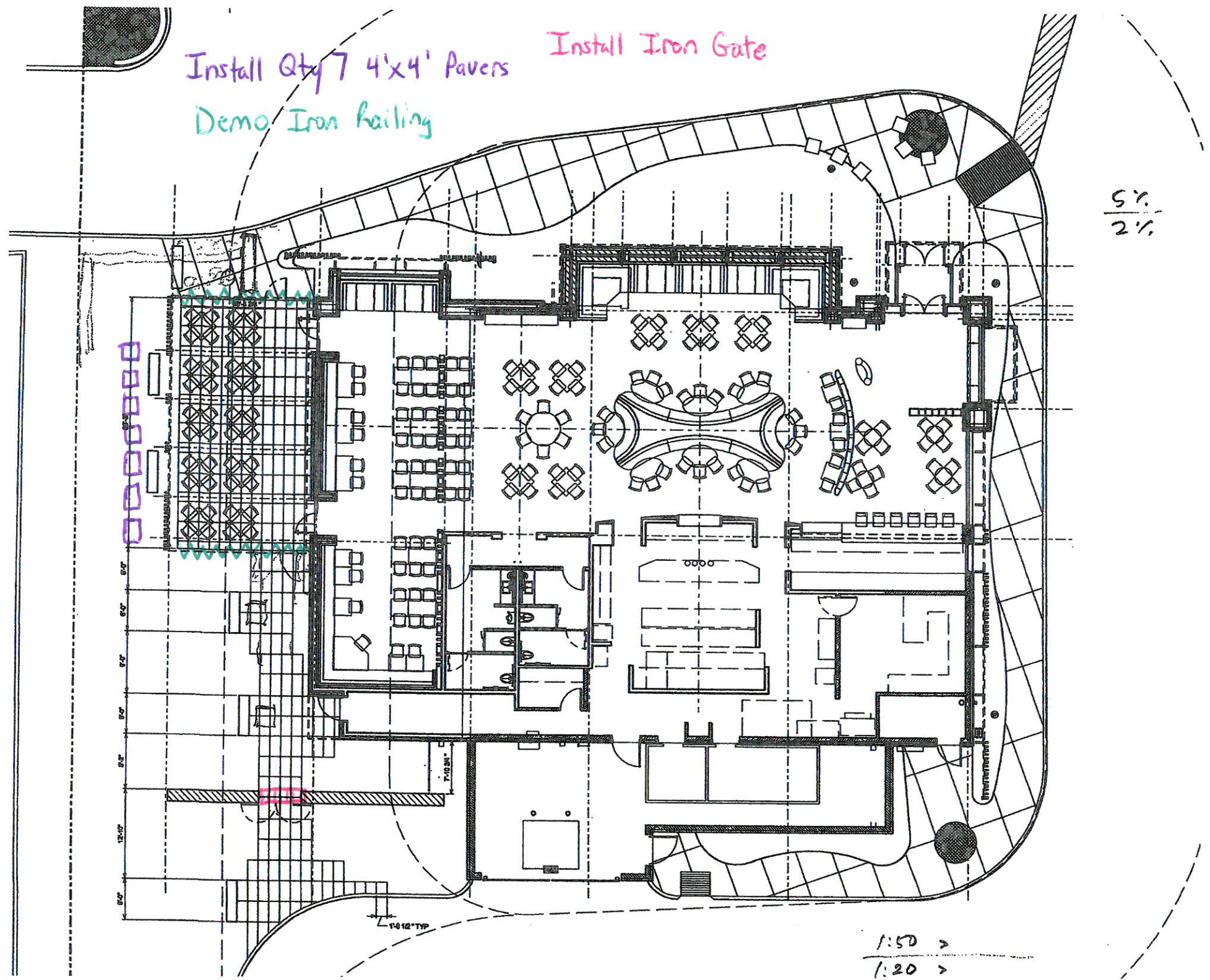
The wall material is leuders coco blend, installed to code.

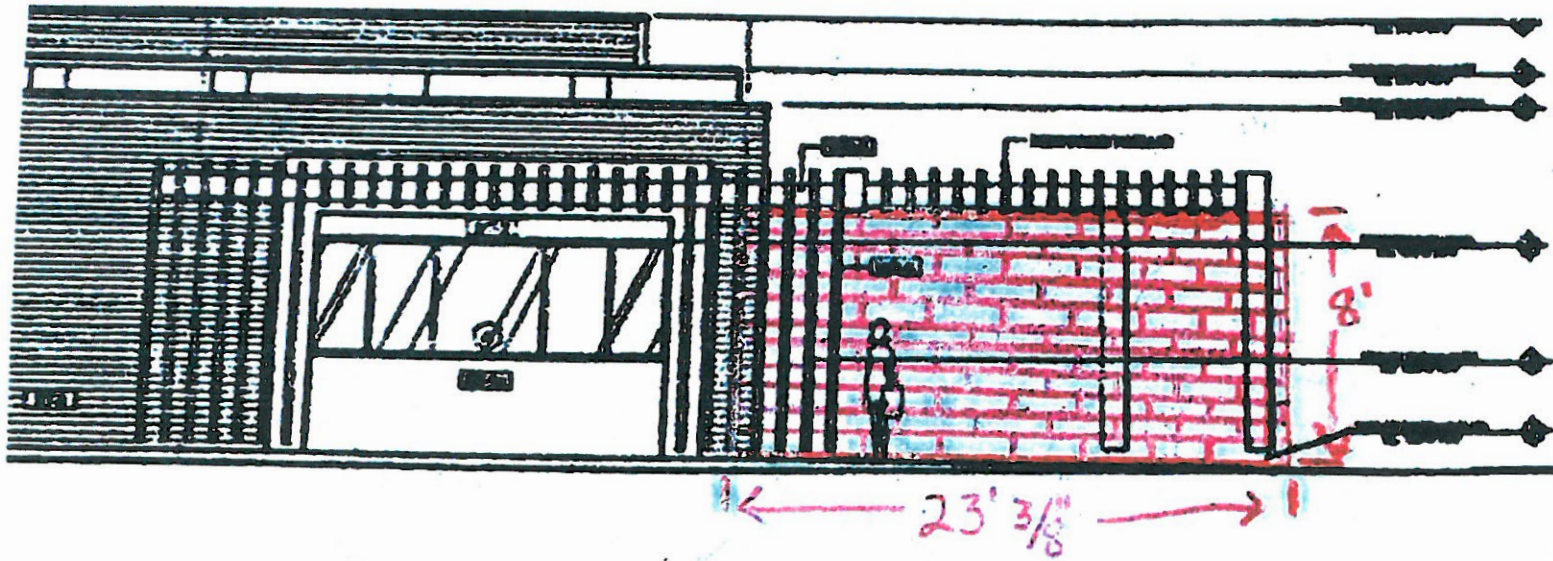
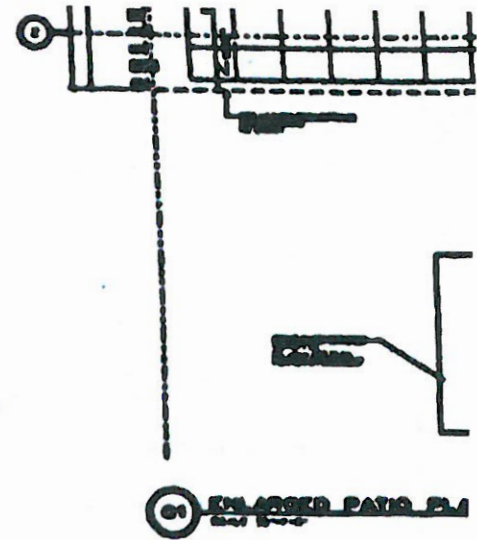
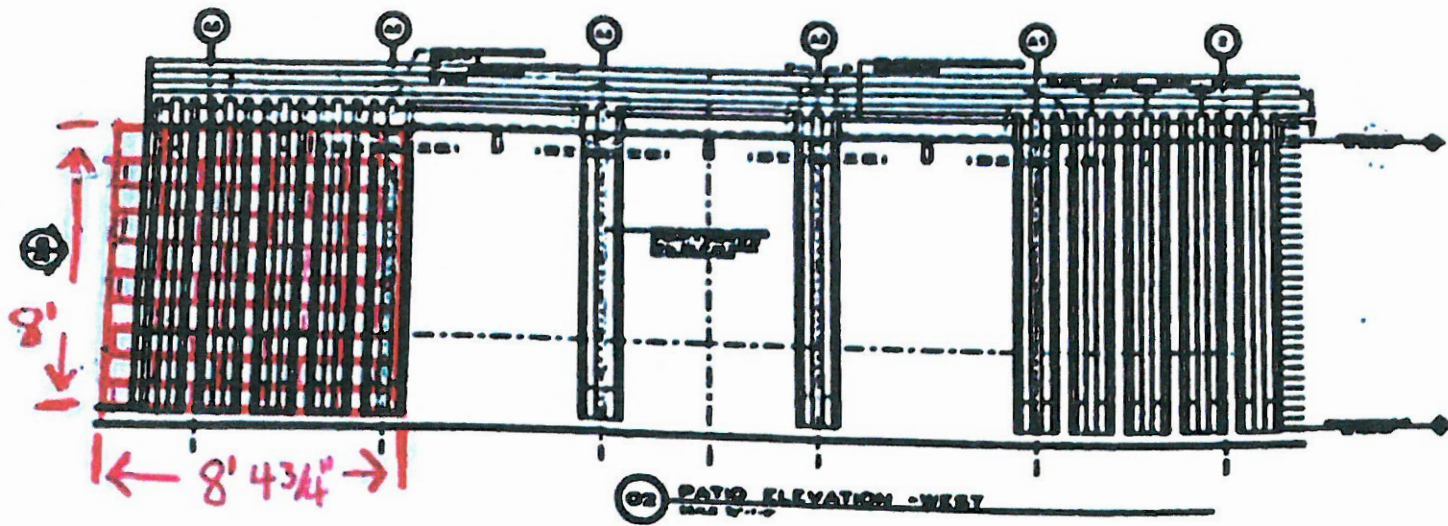
Install Qty 7 4'x4' Pavers

Install Iron Gate

Demo Iron Railing

5%
2%



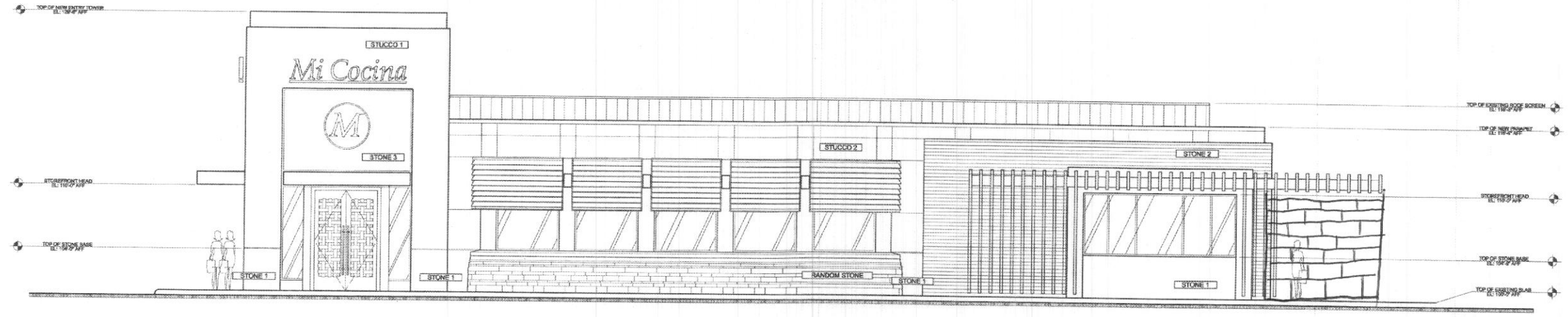


01 NORTH ELEVATION
SCALE 1/8" = 1'-0"

* Red notates rock wall addition
* Rock wall will be 8" thick

DRA

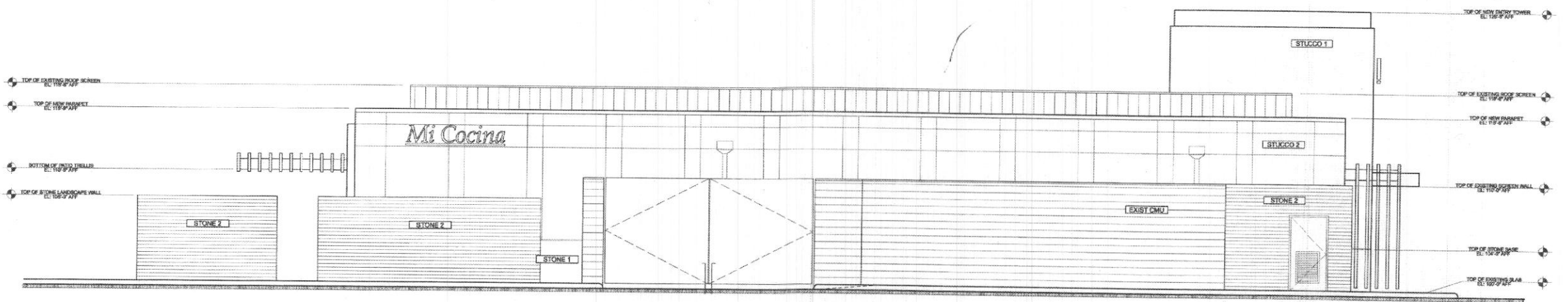
DROESE RANNEY ARCHITECTURE
 3906 Linneman Avenue, Suite 101
 Dallas, Texas 75219 USA



01 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

Luder Stone wall

	NORTH	SOUTH	EAST	WEST
Total Facade SF envelopes of doors & windows	1,109 sf	1,478 sf	1,142 sf	1,229 sf
Primary Masonry Totals	1,109 sf / 100%	1,478 sf / 100%	1,142 sf / 100%	1,229 sf / 100%
Natural / Quarried Stone SF	898 sf / 80%	400 sf / 27%	648 sf / 57%	891 sf / 72%
Stucco SF	421 sf / 38%	508 sf / 34%	327 sf / 29%	338 sf / 28%
Sy-4-face CMU (existing)	0 sf / 0%	411 sf / 28%	157 sf / 14%	200 sf / 16%
Secondary Masonry Totals	0 sf / 0%	0 sf / 0%	0 sf / 0%	0 sf / 0%



02 SOUTH ELEVATION
 SCALE: 3/8" = 1'-0"

FILE COPY
 JUN 26 2010

Mi Cocina
 at Rockwall Crossing
 971 EAST INTERSTATE 30
 ROCKWALL, TEXAS 75087

REVISIONS	
DESIGNER	DRA
PROJECT MANAGER	LER
PROJECT NUMBER	1010
DRAWN BY	LER
SCALE	AS NOTED
COMPUTER FILE	A Sheets
DATE	08.18.10

EXTERIOR ELEVATIONS

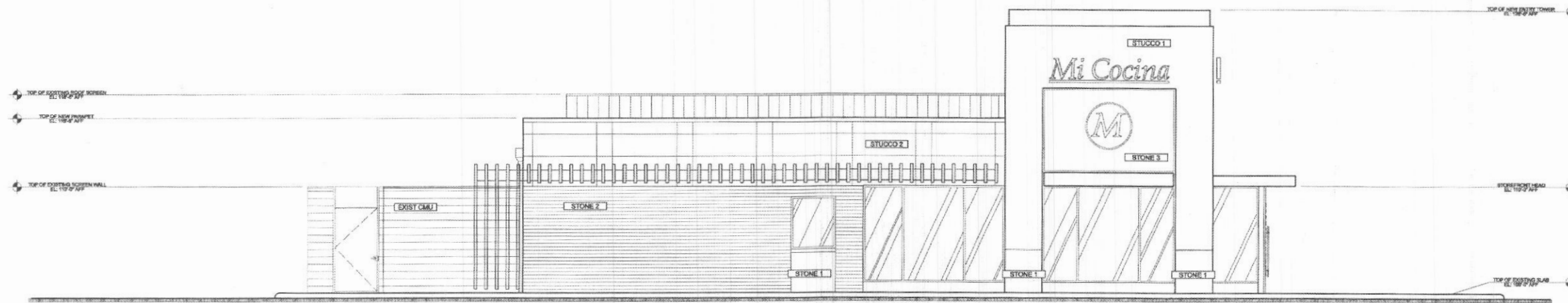
SHEET NUMBER

A-4

2010 011

DRA

DROESE RANBY ARCHITECTURE
 7936 Lemmon Avenue, Suite 101
 Dallas, Texas 75219 USA



01 EAST ELEVATION
 SCALE: 3/8"=1'-0"

	NORTH	SOUTH	EAST	WEST
Total Facade SF exclusive of doors & windows	1,109 sf	1,478 sf	1,142 sf	1,229 sf
Primary Masonry Totals	1,109 sf / 100%	1,478 sf / 100%	1,142 sf / 100%	1,229 sf / 100%
Natural / Quarried Stone SF	898 sf / 82%	400 sf / 27%	448 sf / 40%	891 sf / 90%
Stucco SF	421 sf / 38%	855 sf / 58%	537 sf / 47%	338 sf / 34%
Spall-less CMU (existing)	421 sf / 38%	411 sf / 28%	157 sf / 13%	200 sf / 19%
Secondary Masonry Totals	0 sf / 0%	0 sf / 0%	0 sf / 0%	0 sf / 0%

Mi Cocina
 at Rockwall Crossing
 971 EAST INTERSTATE 30
 ROCKWALL, TEXAS 75087



Lueder Stone Wall

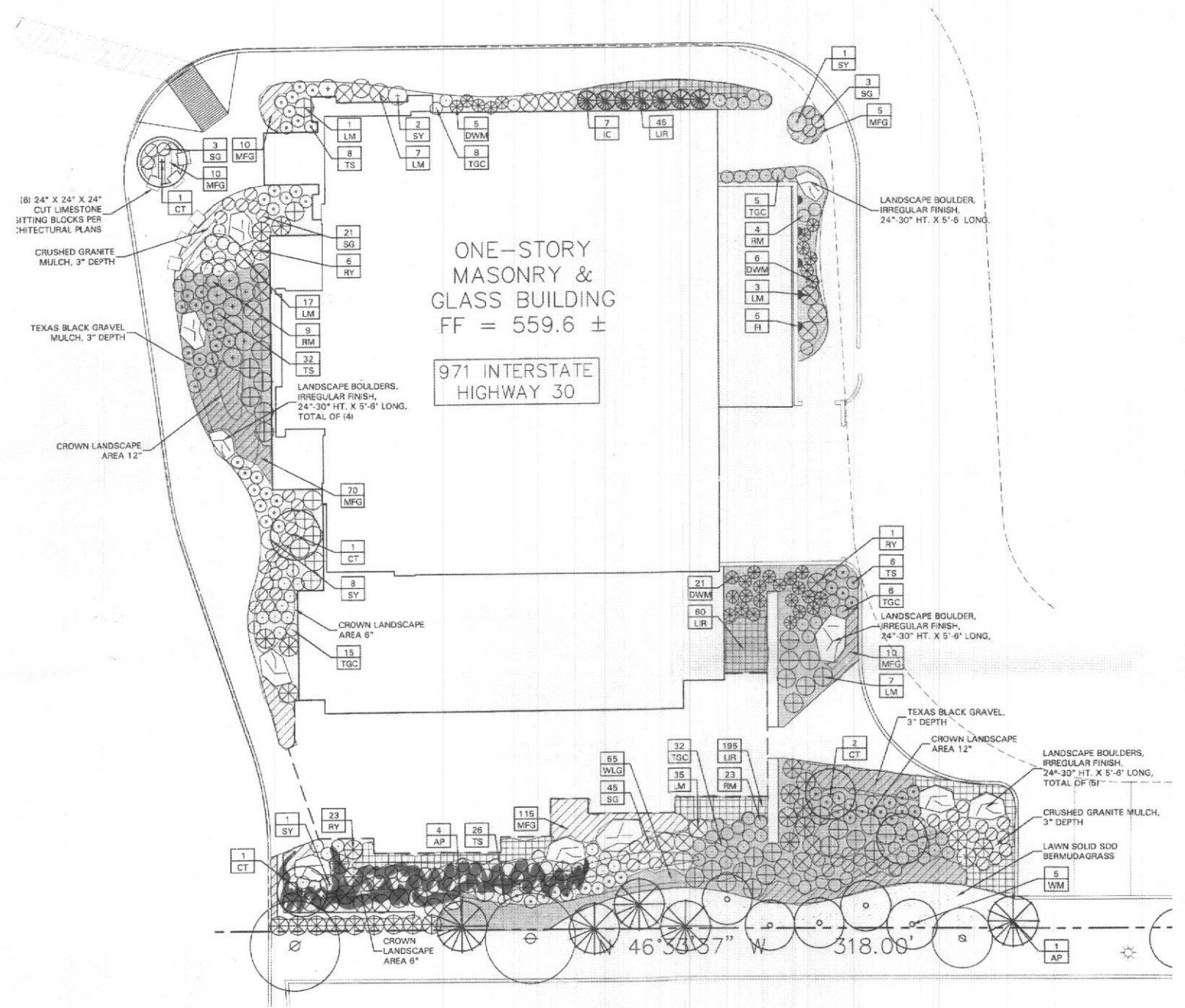
02 WEST ELEVATION
 SCALE: 3/8"=1'-0"

REVISIONS

DESIGNER	DRA
PROJECT MANAGER	LER
PROJECT NUMBER	1010
DRAWN BY	LER
SCALE	AS NOTED
COMPUTER FILE	A Sheets
DATE	08.18.10

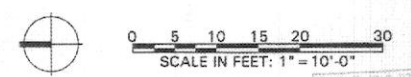
EXTERIOR ELEVATIONS

SHEET NUMBER
A-4.1



- PLANT LEGEND**
- | SYMBOL | COMMON NAME |
|--------|--------------------------------|
| AP | Argan Pine |
| CT | Chitalpa |
| DWM | Dwarf Wax Myrtle |
| F | Fig Ivy |
| IC | Italian Cypress |
| LIR | Liriodendron 'Big Blue' |
| LM | Lindheimer's Muhly |
| MFG | Mexican Feathergrass |
| RM | Upright Rosemary 'Tuscan Blue' |
| RY | Red Yucca |
| SG | Salvia Greggii 'Red' |
| SY | Softleaf Yucca |
| TGC | Texas Gold Columbine |
| TS | Texas Sage 'Green Cloud' |
| WLG | Weeping Lovegrass |
| WM | Wax Myrtle |
- REFER TO L1.02 FOR PLANT LIST

* No trees, large stones will be removed, just plants/bushes.



NO.	DATE	REVISION

Pacheco Koch 8350 N. CENTRAL EXPWY SUITE 1000
 DALLAS, TX 75208 972.235.3031
 DALLAS • FORT WORTH • HOUSTON TX REG. ENGINEERING FIRM F-469
 TX REG. SURVEYING FIRM LS-100080-00

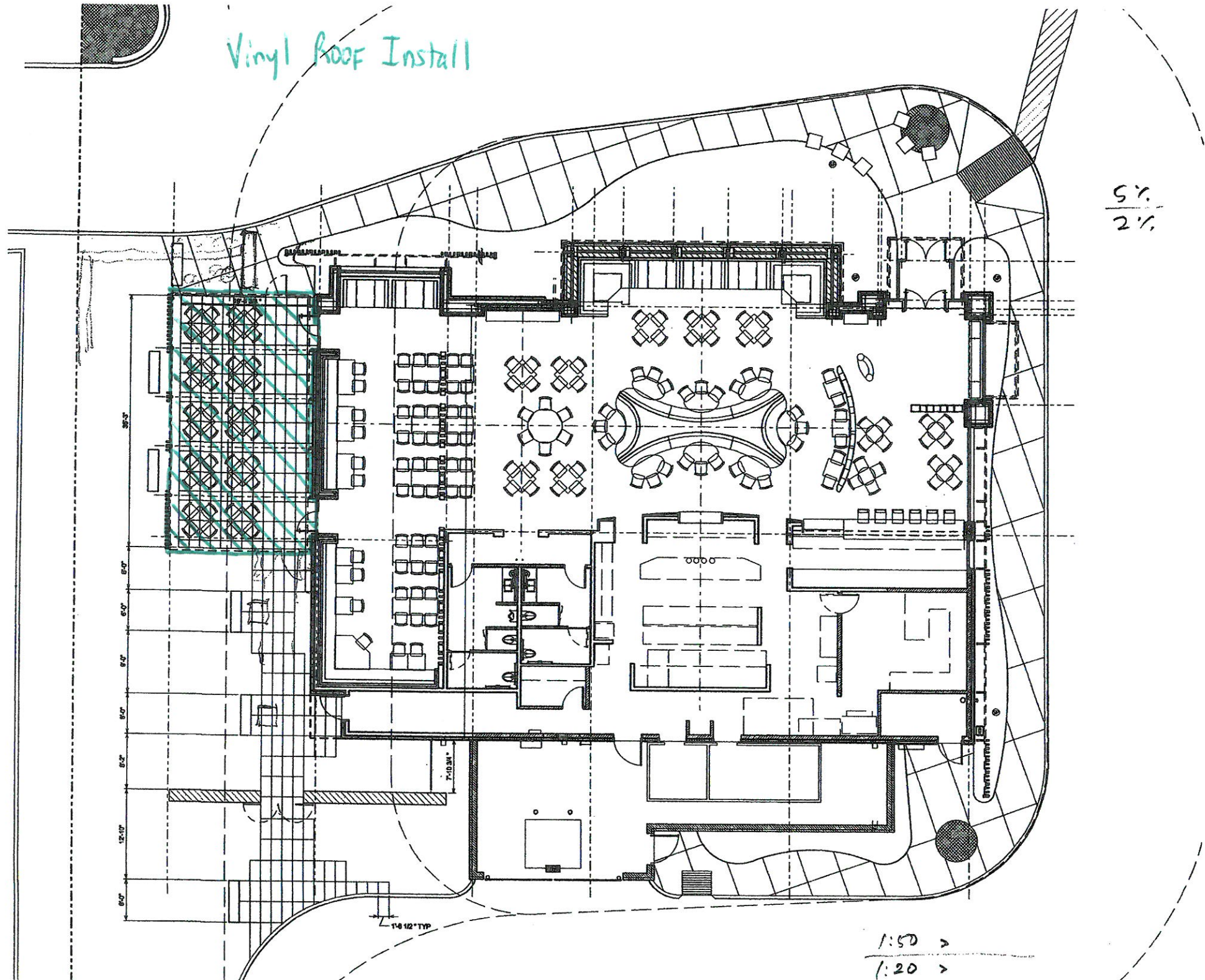
LANDSCAPE ENLARGEMENT PLAN
MI COCINA REDEVELOPMENT
ROCKWALL CROSSING
971 INTERSTATE HIGHWAY 30
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
KAH	KAH	AUG 2010	1"=10'			L1.03

PROGRESS SET - FOR REVIEW ONLY
 ISSUED
 09.10.10
 These documents are
 NOT FOR REGULATORY APPROVAL,
 PERMITTING OR CONSTRUCTION.
 They were prepared by,
 or under the supervision of,
 Karl Aron Heug, TX Lic. #2246
 la terra studio, inc.


 la terra studio
 landscape architecture - park planning
 2100 meadows street Suite 3020
 Dallas, TX 75201
 214.549.0353 fax 214.549.0378
 www.latterrastudio.com

Vinyl Roof Install



5%
2%

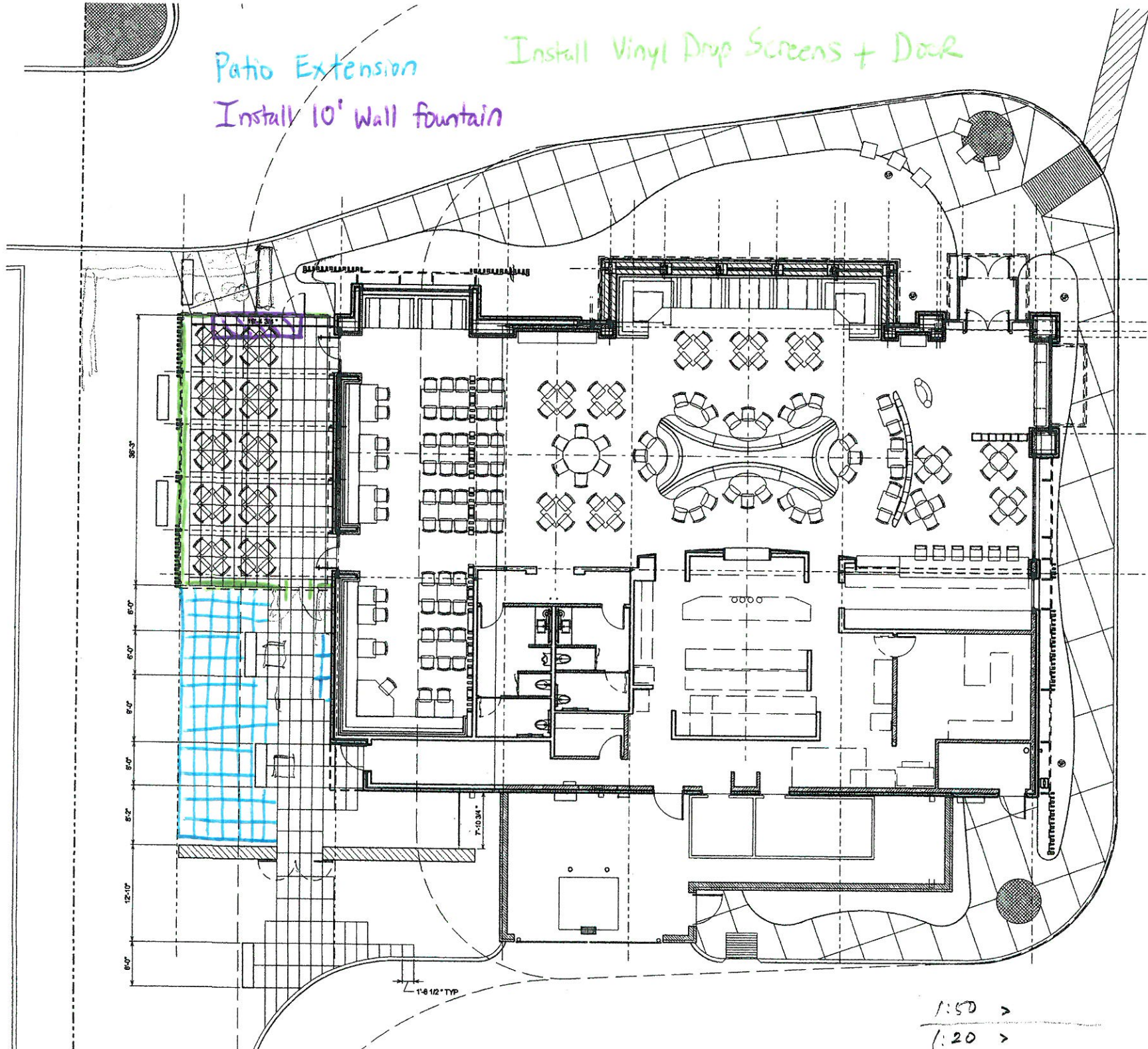
1:50 >
1:20 >

Patio Extension

Install 10' Wall fountain

Install Vinyl Drop Screens + Door

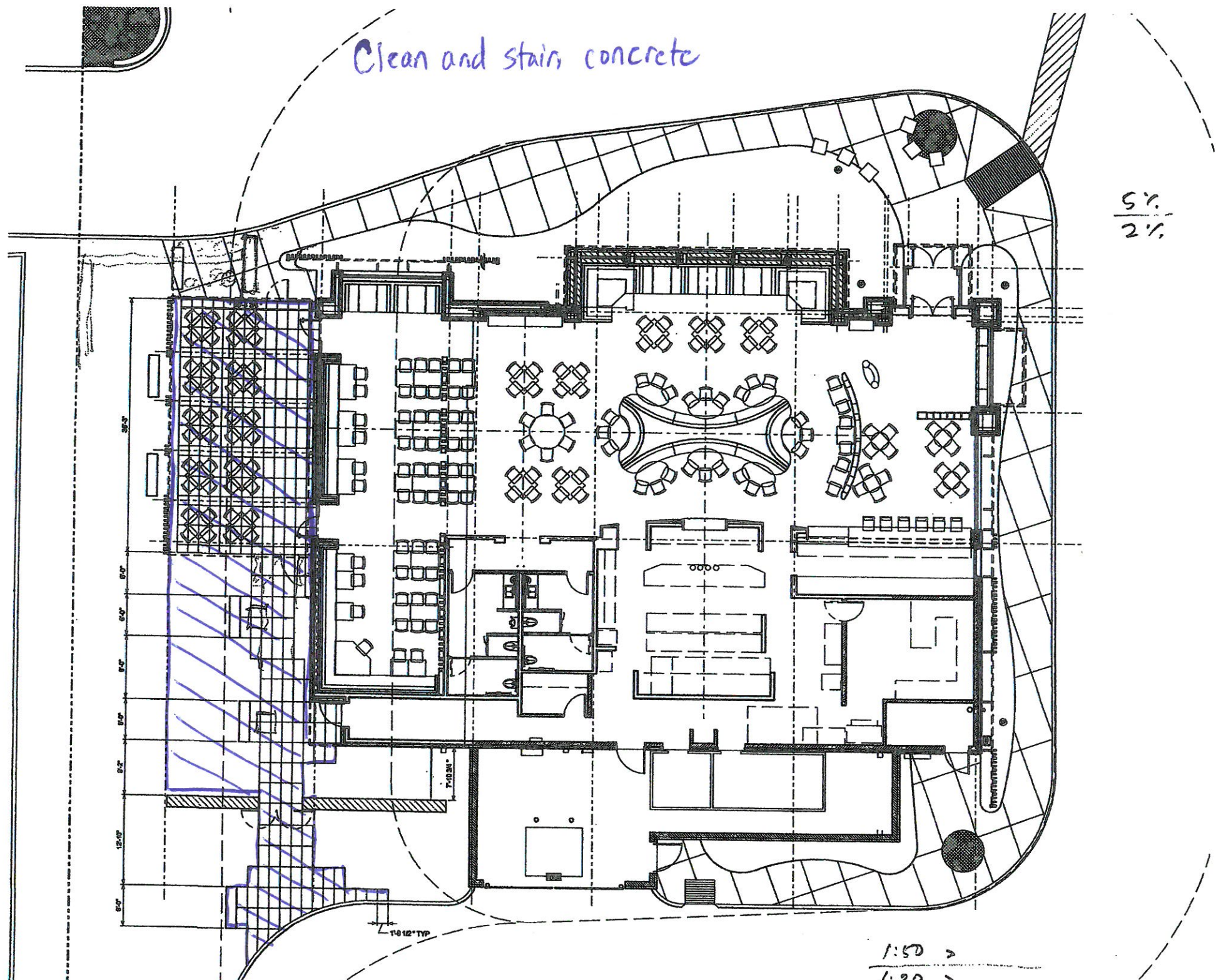
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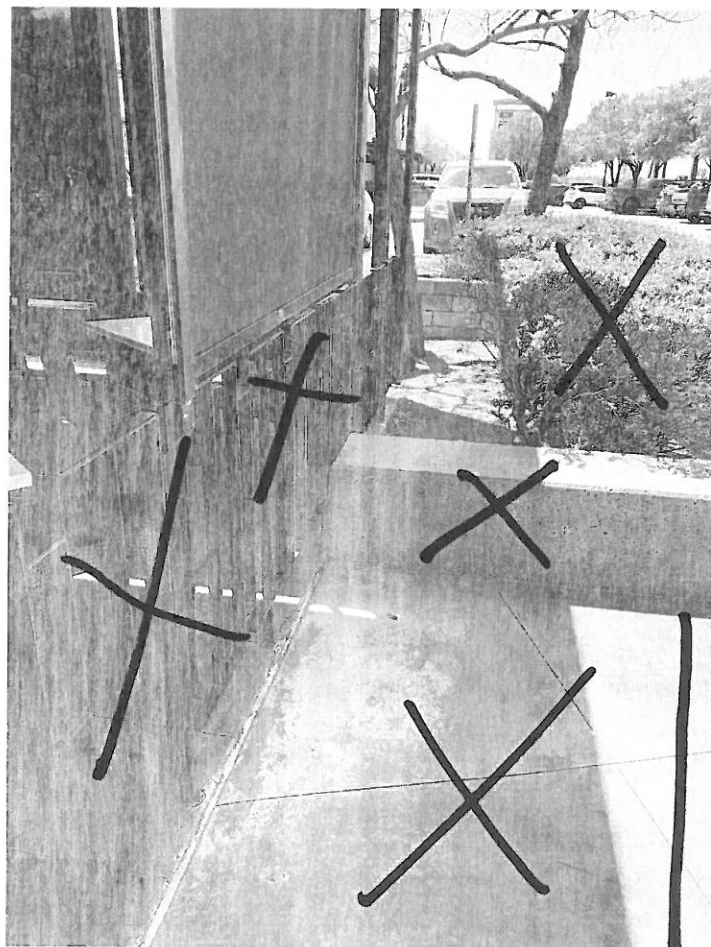
1:50 >
1:20 >

Clean and stain concrete

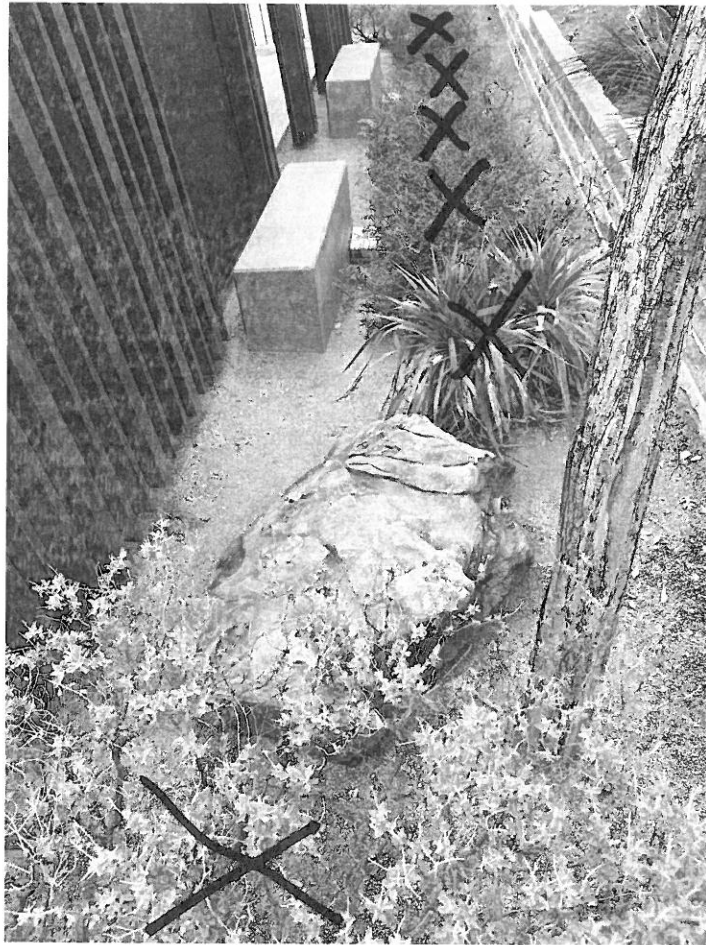
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1:50 >
1:20 >

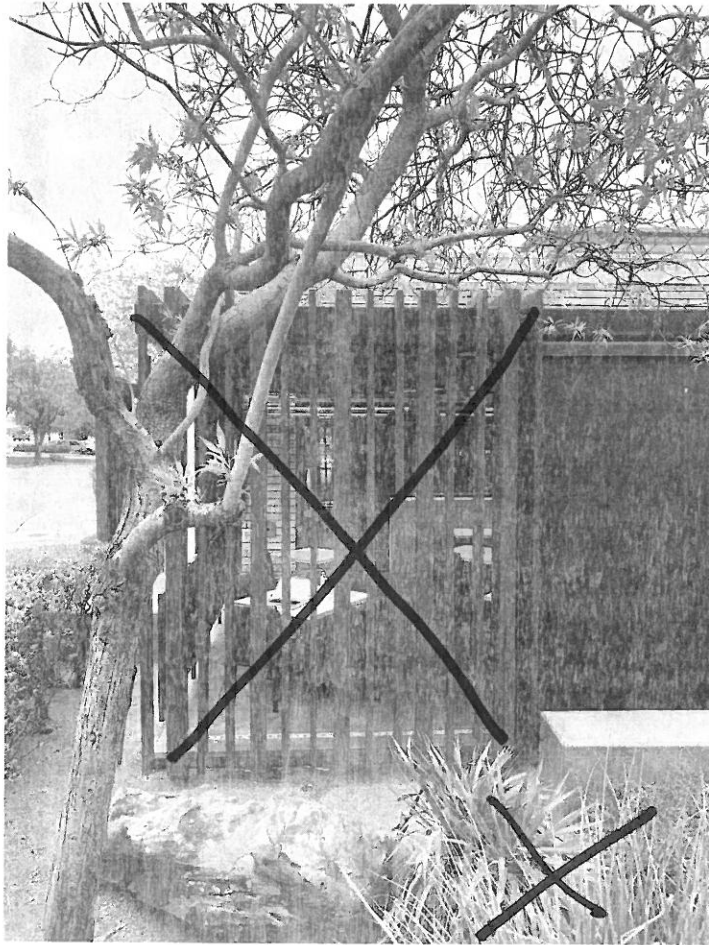


Demo
Replace gravel

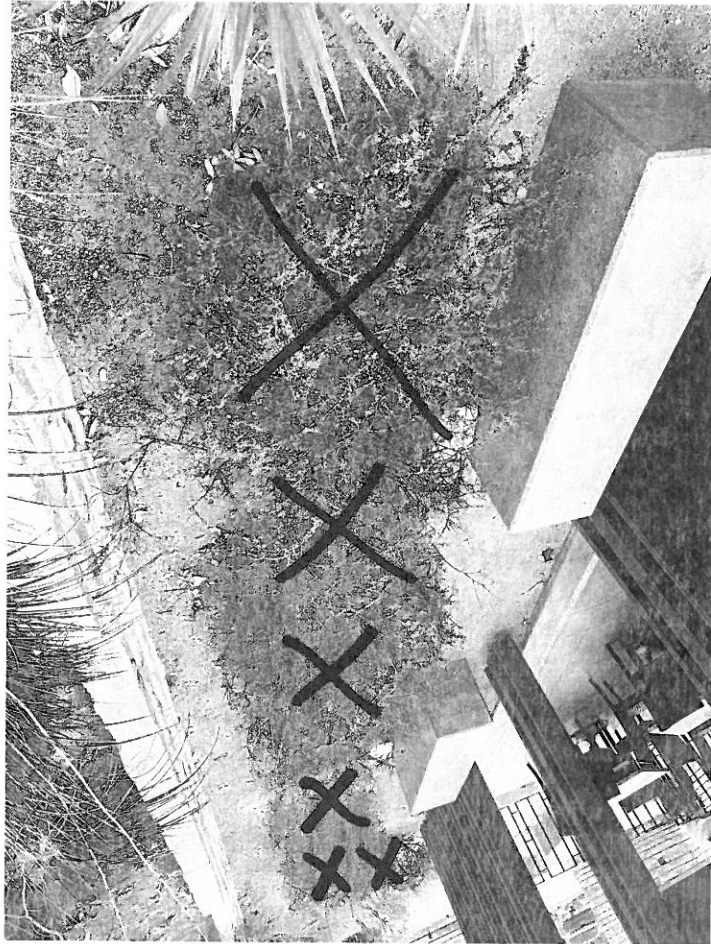


Demo

Replace gravel and pavers



Demo



Demo

Replace gravel and pavers



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 13, 2021
APPLICANT: Dub Douphrate; *St. Benedict's Anglican Church*
CASE NUMBER: Z2021-020; *Specific Use Permit (SUP) for Self-Service Carwash at 3611 N. Goliad Street*

SUMMARY

Hold a public hearing to discuss and consider a request by St. Benedict's Anglican Church on behalf of Brett Hall for the approval of a Specific Use Permit (SUP) for a *House of Worship* on a 7.45-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Drive, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on June 20, 1959 by *Ordinance No. 59-02*. Based on the City's historic zoning maps the subject property was rezoned from a Single-Family 2 (SF-2) District to a Single-Family 10 (SF-10) District at some point between January 3, 1972 and May 16, 1983. According to the Rockwall Central Appraisal District (RCAD), the existing home was constructed in 1955, with the addition of a detached garage, carport, and balcony in 1969. The subject property is identified as Tracts 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey, Abstract No. 98, and is comprised of a total of 7.45-acres.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) to allow for a *Church/House of Worship* on the subject property in accordance with the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 1500 Sunset Hill Drive. The land uses adjacent to the subject property are as follows:

North: Directly north, and adjacent to, the subject property is the Northshore, Phase 2 Subdivision -- *which is zoned Single-Family 10 (SF-10) District* --, and The Preserve, Phase 2 Subdivision -- *which is zoned Planned Development District No. 41 (PD-41)*. Both of these subdivisions are zoned for single-family district land uses and combine for a total of 158 lots. Beyond this is a continuation of Planned Development District 11 (PD-11) and Planned Development District 41, which are single-family residential subdivisions, and being identified as Hillcrest Shores, Phase 2 Subdivision (PD-11) and The Preserve, Phase 1 Subdivision (PD-41) Subdivisions. Both of these Planned Development Districts have incorporated an underlying zoning of Single-Family 10 (SF-10) District.

South: Directly south, and adjacent to, the subject property is the Northshore, Phase 2A Subdivision and the Hairston Addition which are zoned Single-Family 10 (SF-10) District. Both of these subdivisions are zoned for single-family district land uses, and combine for a total of 45 lots. Beyond this is N. Lakeshore Drive, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 3.036-acre tract of land identified as Tract 1 of the A. Hanna Survey, Abstract No. 98 and W. B. Bowles Survey, Abstract No. 12, and contains a single-family home. East of and adjacent

to this property is a 7.235-acre tract of land identified as Tract 2, W. B. Bowles Survey, Abstract No. 12, and contains a single-family home. Beyond this are the Pinnacle, Phase 1 and Pinnacle, Phase 2 Subdivisions, which are zoned Single-Family 10 (SF-10) District.

West: Directly west of the subject property is N. Lakeshore Drive, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this a continuation of the Northshore Phase 2B Subdivision. This property is zoned Single-Family 10 (SF-10) District. Continuing west is the City of Dallas Takeline, followed by Lake Ray Hubbard.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and concept plan depicting the layout for a *Church/House of Worship* on the subject property. Based on the concept plan, the existing home will be renovated to accommodate the proposed *Church/House of Worship*. The concept plan indicates the provision of a 24-foot *Firelane and Access Easement* via N. Lakeshore Drive, the removal of the garage, and will include 41 parking spaces during the first phase of the development. It should be noted that a *Church/House of Worship* requires a minimum of one (1) parking space for every four (4) seats (*i.e. 1:4 ratio*) in the assembly room. Additionally, the applicant intends to incorporate a three (3)-tiered screening along the rear (*i.e. north*) and east property lines and include headlight screening for the parking spaces. This will provide screening of the use from the residential neighborhood (*i.e. Northshore, Phase 2, and The Preserve, Phase 2*). The future expansion of the facility will include the extension of 24-foot *Firelane and Access Easement* with a turn-a-round, additional parking spaces, future chapel, and a water feature. The landscape/screening for the subject property will be considered at the time of site plan.

CONFORMANCE TO THE CITY'S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Church/House of Worship* requires a Specific Use Permit (SUP) in the Single-Family 10 (SF-10) District. Due to the subject property's proximity to single-family residential developments (*i.e. Northshore and The Preserve Additions*), the proposed *Church/House of Worship* will require screening from the adjacent residential neighborhoods. According to Subsection 05.02(B), *Screening from Residential*, of Article 08, *Landscape and Screening*, of the Unified Development Code (UDC), "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers...As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (*i.e. [1] small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or [2] evergreen trees and canopy trees*) along the entire length of the adjacency...The canopy trees shall be placed on 20-foot centers." Additionally, according to Subsection 05.02(C), *Headlight Screening*, of Article 08, *Landscape and Screening*, of the Unified Development Code (UDC) states "(h)ead-in parking adjacent to a street shall incorporate one (1) of the following screening methods to mitigate the potential hazard that headlights may pose for on-street vehicular traffic: [1] Alternative #1. A minimum of a two (2) foot berm with mature evergreen shrubs along the entire adjacency of the parking areas, or [2] Alternative #2. A minimum of a three (3) foot masonry wall with mature shrubs situated between the wall and the right-of-way along the entire adjacency of the parking areas." In this case, the applicant's concept plan indicates the provision of a live landscape screen along the perimeter of the rear (*i.e. north*) and east property lines, and will provide headlight screening adjacent to the parking spaces. The alternative screening method is discretionary to the Planning and Zoning Commission.

STAFF ANALYSIS

The intent of the Single-Family 10 (SF-10) District is the appropriate zoning classification for single-family developments with medium sized lots. This zoning district also accommodates public land uses, denominational and private schools, churches, and public/private parks essential to creating the basic neighborhood unit. These developments are typically in areas buffered from non-residential land uses, and where they will serve as a logical transition from higher to lower density residential zoning districts. In this case, the proposed church facility will have residential on all sides of the subject property. With all of this being said, any request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On June 30, 2021, staff mailed 126 notices to property owners and residents within 500-feet of the subject property. Staff also notified the Hillcrest at the Shores, The Preserve, and the Lakeview Summit Homeowner's Association (HOA), which are the only Homeowner's Associations (HOA's)/Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) Two (2) property owner notifications from property owners within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.
- (2) One (1) email from a property owner within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.
- (3) One (1) email from a property owner outside of the notification area (*i.e. outside of the 500-foot buffer*) opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Church/House of Worship* on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The *Church/House of Worship* facility shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Any changes or additions to the exterior of the existing structures or the addition of new structures shall be required to be reviewed by the Architectural Review Board (ARB) and approved by the Planning and Zoning Commission.
 - (c) Headlight screening shall be incorporated adjacent to the parking areas indicated in the *Concept Plan* depicted in *Exhibit 'B'* of the draft ordinance.
 - (d) Three (3) tiered screening (*i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees*) shall be incorporated adjacent to the northern and eastern property lines of the subject property generally as depicted on the *Concept Plan* in *Exhibit 'B'* of the draft ordinance.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-02B

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	<u>1500 Sunset Hill</u>		
SUBDIVISION	<u>Northshore</u>	LOT	BLOCK
GENERAL LOCATION	<u>1500 Sunset Hill</u>		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	<u>R-10</u>	CURRENT USE	<u>Residential</u>
PROPOSED ZONING	<u>SUP</u>	PROPOSED USE	<u>Church</u>
ACREAGE	<u>7.43</u>	LOTS [CURRENT]	LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Brett Hall</u>	<input checked="" type="checkbox"/> APPLICANT	<u>St. Benedict's Anglican Church</u>
CONTACT PERSON	<u>individually and on behalf of the heirs of Ralph Hall</u>	CONTACT PERSON	<u>Dub Douphrate</u>
ADDRESS	<u>2710 Whispering Oaks - RW, TX</u>	ADDRESS	<u>2235 Ridge Rd</u>
CITY, STATE & ZIP	<u>Rockwall TX 75087</u>	CITY, STATE & ZIP	<u>Rockwall TX 75087</u>
PHONE	<u>214-354-9149</u>	PHONE	<u>972 771 9004</u>
E-MAIL		E-MAIL	<u>wldouphrate@douphrate.com</u>

NOTARY VERIFICATION [REQUIRED]

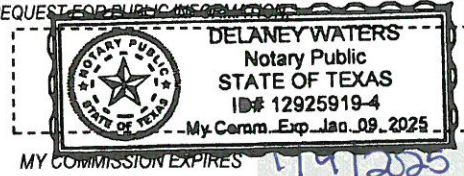
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Brett Hall [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

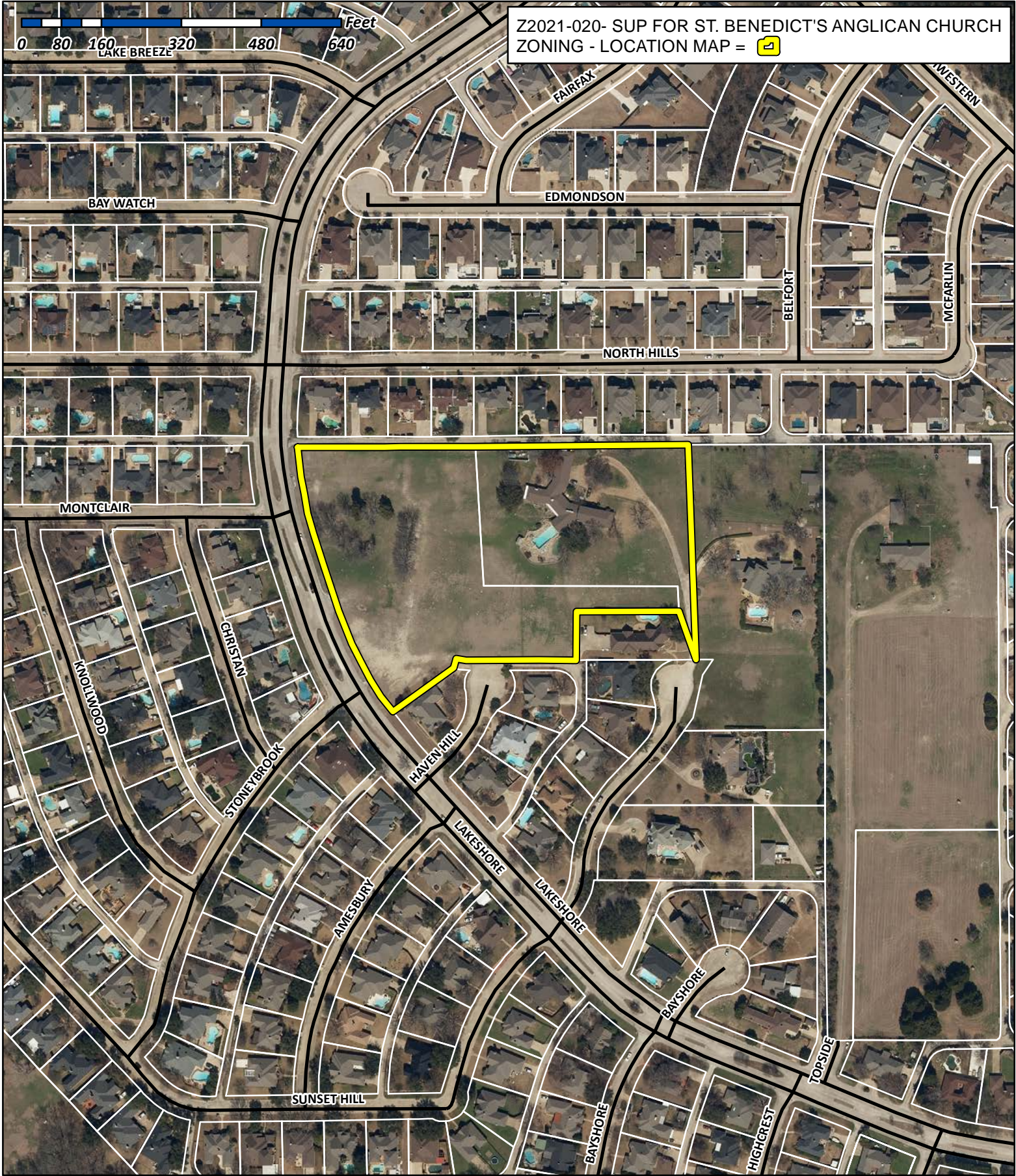
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 2 DAY OF May, 2021.

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

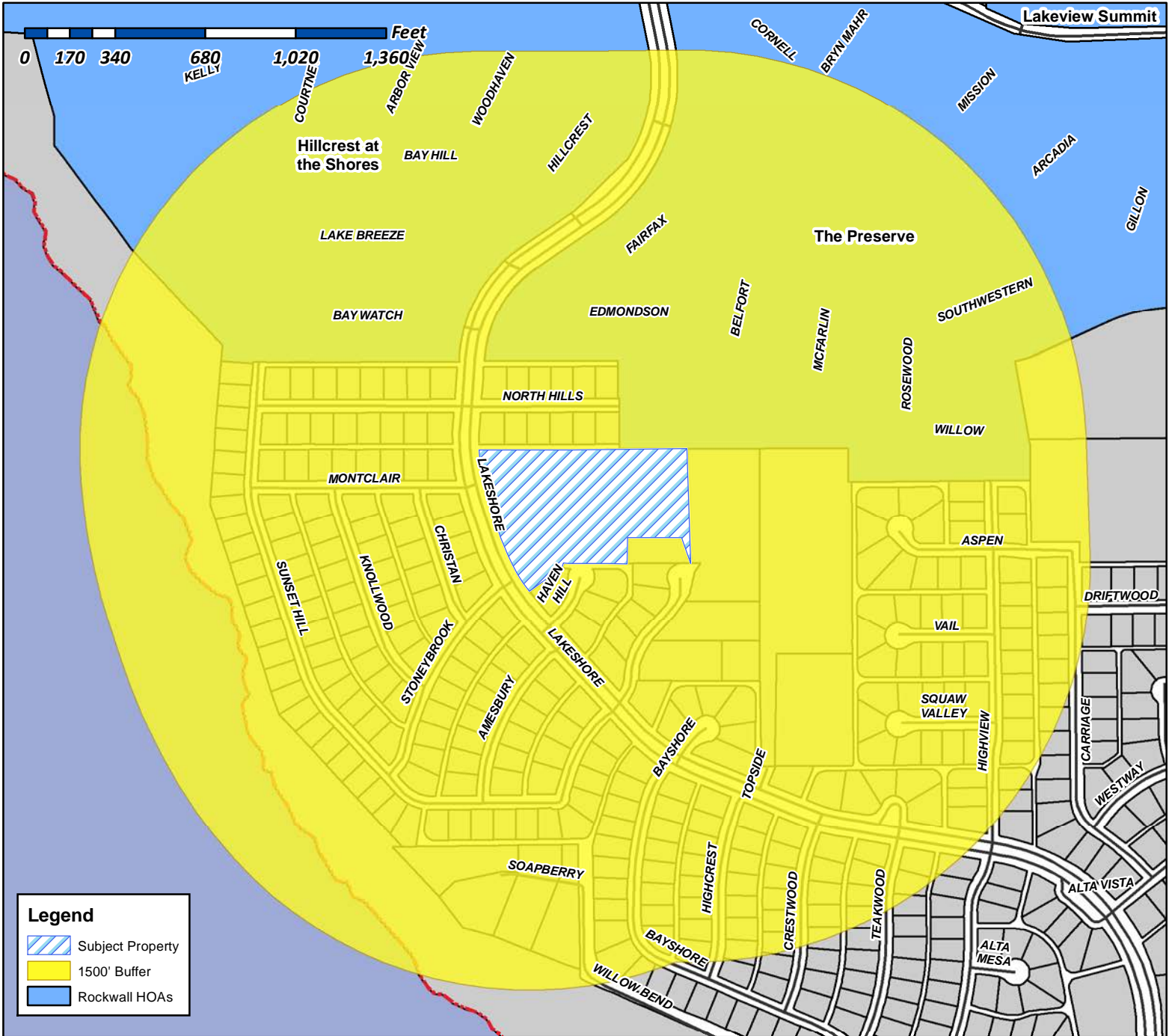




City of Rockwall

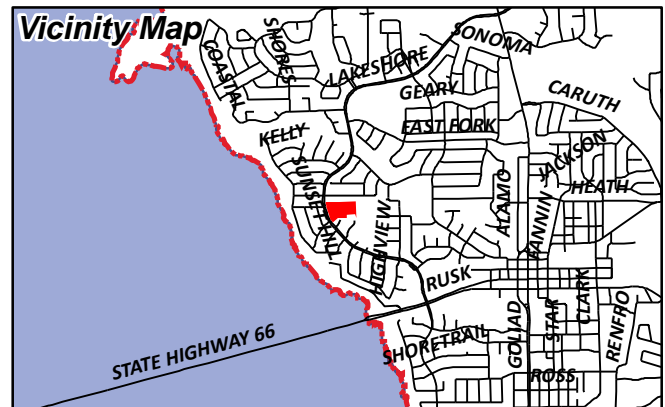
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2021-020
Case Name: SUP for a House of Worship
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 1500 Sunset Hill Drive

Date Created: 6/23/2021
For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2021-020]
Date: Monday, June 28, 2021 4:53:47 PM
Attachments: [Public Notice \(06.28.2021\).pdf](#)
[HOA Map Z2021-020.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on [June 25, 2021](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, July 13, 2021 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, July 19, 2021 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-020 SUP for a House of Worship

Hold a public hearing to discuss and consider a request by St. Benedict's Anglican Church on behalf of Brett Hall for the approval of a [Specific Use Permit \(SUP\)](#) for a House of Worship on a 7.45-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

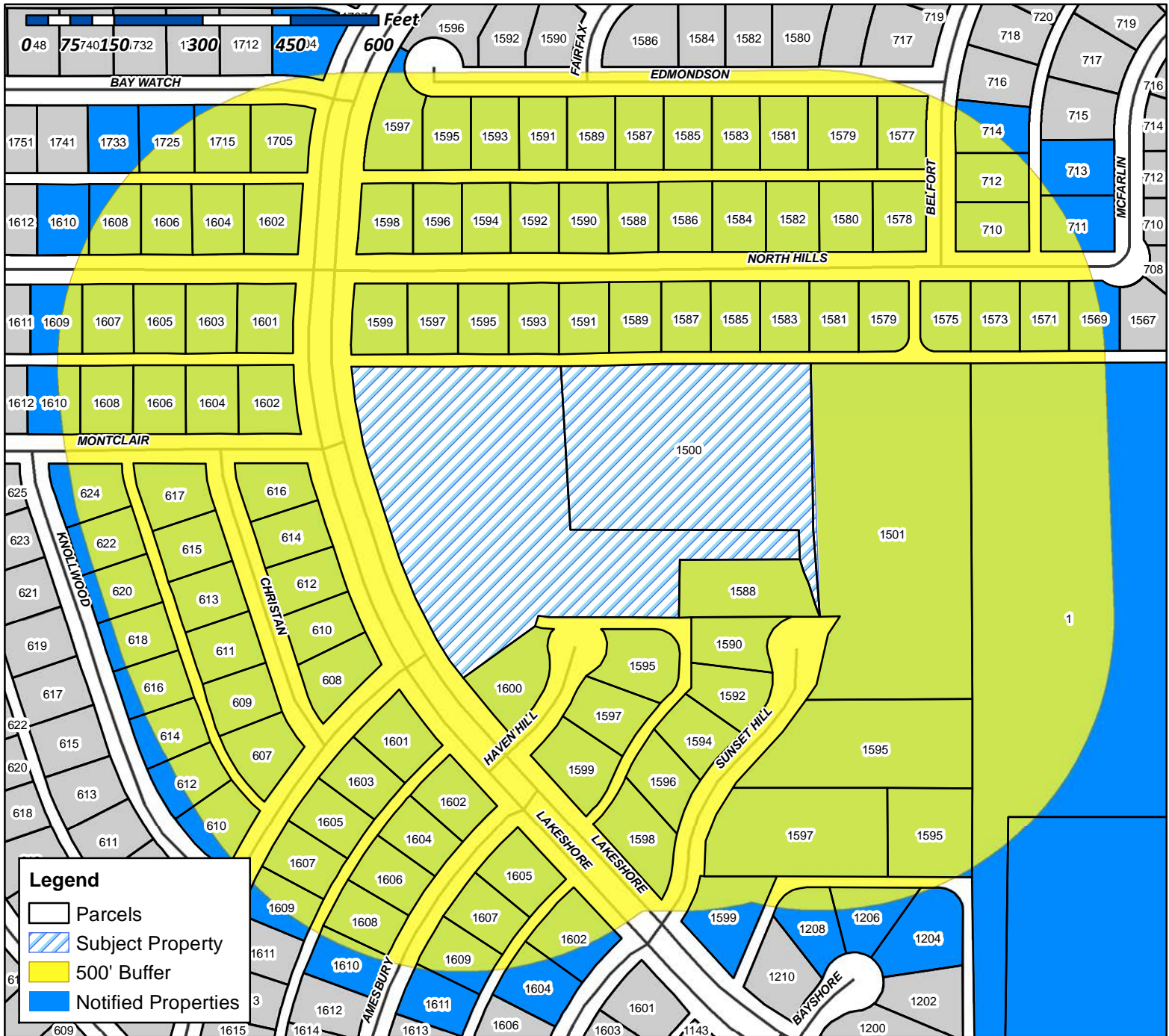
<http://www.rockwall.com/planning/>



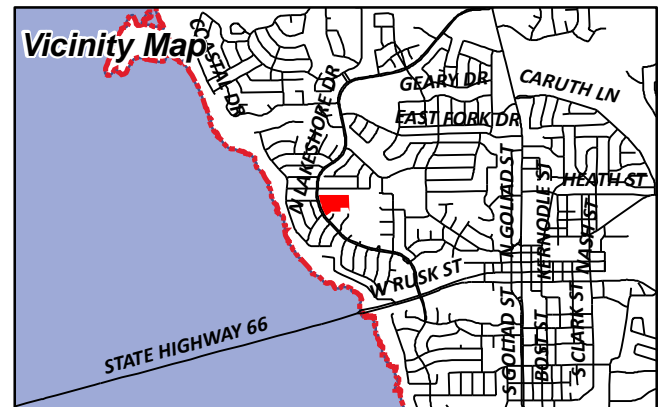
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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(W): www.rockwall.com

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Case Number: Z2021-020
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Zoning: Single-Family 10 (SF-10) District
Case Address: 1500 Sunset Hill Drive



Date Created: 6/23/2021
For Questions on this Case Call (972) 771-7745

 = RESPONSE RECEIVED

LOFLAND WILLIAM B
1 TOPSIDELN
ROCKWALL, TX 75087

LOFLAND WILLIAM B
105 E KAUFMAN ST
ROCKWALL, TX 75087

CHANDLER PIERCE L JR ETUX
1204 BAYSHORE DR
ROCKWALL, TX 75087

KESHMIRI CYRUS HOMAN & NATASHA KIM
1206 BAYSHORE DRIVE
ROCKWALL, TX 75087

MESSIMER SETH AND JENNY
1208 BAYSHORE DR
ROCKWALL, TX 75087

HALL RALPH H AND
BRETT A HALL AND J BLAKEKEY HALL
1500 SUNSET HILLDR
ROCKWALL, TX 75087

COBLE JOHN D DR & PATRICIA P
1501 SUNSET HILL DR
ROCKWALL, TX 75087

BAUER SCOTT J AND CARLA G
1569 NORTH HILLS DR
ROCKWALL, TX 75087

CHANEY CHARLES & PAMELA
1571 NORTH HILLS DRIVE
ROCKWALL, TX 75087

MAXON JOSHUA DAVID & LAUREN OPENSHAW
1573 N HILLS DR
ROCKWALL, TX 75087

BACH DAVID M AND BETHANY N
1575 NORTH HILLS DR
ROCKWALL, TX 75087

MASLO PAUL B AND MIHUI LAURA KIM
1577 EDMONDSON TR
ROCKWALL, TX 75087

ALVARADO GARY AND MARIA
1578 NORTH HILLS DR
ROCKWALL, TX 75087

MACDONALD AMY A AND MICHAEL C
1579 EDMONDSON TR
ROCKWALL, TX 75087

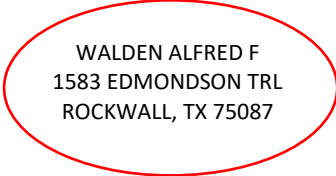
MCCLENDON PAULA S
1579 N HILLS DRIVE
ROCKWALL, TX 75087

COOPER TRAVIS AND MICHELLE
1580 NORTH HILLS DR
ROCKWALL, TX 75087

PENNINGTON MICHAEL AND IVY R
1581 EDMONDSON TRAIL
ROCKWALL, TX 75087

STANLEY ROBERT WAYNE II AND CHERYL RAE
1581 NORTH HILLS DR
ROCKWALL, TX 75087

BUCKNER GARY
1582 NORTH HILLS DRIVE
ROCKWALL, TX 75087

 WALDEN ALFRED F
1583 EDMONDSON TRL
ROCKWALL, TX 75087

ORTIZ MIGUEL & CIARA
1583 N HILLS DR
ROCKWALL, TX 75087

WHITE TODD E AND PAIGE LEIGH
1584 NORTH HILLS DR
ROCKWALL, TX 75087

COSKUN HASAN & SIBEL COSKUN
1585 EDMONDSON TRL
ROCKWALL, TX 75087

ALDRICH KEVIN JAMES & DOTTIE R
1585 NORTH HILLS DRIVE
ROCKWALL, TX 75087

STEWART CANDY MARIE & BENJAMIN EARL
1586 NORTH HILLS DRIVE
ROCKWALL, TX 75087

OWEN ALLEN J & JESICA L
1587 EDMONDSON TRAIL
ROCKWALL, TX 75087

ORTIZ JESUS AND CINDY
1587 NORTH HILLS DR
ROCKWALL, TX 75087

BEAUBIEN ALAN AND
REVI MENASCHE
1588 NORTH HILLSDR
ROCKWALL, TX 75087

BANAN SAEED & SANDRE
1588 SUNSET HILL DR
ROCKWALL, TX 75087

MUKTAR JEMIL M
1589 EDMONDSON TR
ROCKWALL, TX 75087

ANDERSON JAMES R & E GAY
1589 N HILLS DR
ROCKWALL, TX 75087

KELLY JAMES D & SARA SOLIS
1590 N HILLS DR
ROCKWALL, TX 75087

ANDERSON JASON & KELLY
1590 SUNSET HILL DRIVE
ROCKWALL, TX 75087

CRUZ JUAN G AND MARIA D
1591 EDMONDSON TRACE
ROCKWALL, TX 75087

PARAMOUNT LAURELS LLC
1591 NORTH HILLSDR
ROCKWALL, TX 75087

FIDGER REVOCABLE LIVING TRUST
BRIAN FIDGER - TRUSTEE
1592 NORTH HILLS
ROCKWALL, TX 75087

BASSETT BRAD E & STACY R
1592 SUNSET HILL DR
ROCKWALL, TX 75087

MCCOY ELI AND
TAMMIE BROWN
1593 EDMONSON TRAIL
ROCKWALL, TX 75087

FRAGA JAVIER SANTOS
1593 NORTH HILLS DR
ROCKWALL, TX 75087

SANDERS JERRY W & MARINA
1594 N HILLS DR
ROCKWALL, TX 75087

TURNER KYLE R AND
ROGER D TURNER
1594 SUNSET HILLDR
ROCKWALL, TX 75087

GROOVER ANTHONY AND DONNA MARRIE
1595 EDMONDSON TR
ROCKWALL, TX 75087

GONZALES JAMES E & DEENA L
1595 HAVEN HILL CT
ROCKWALL, TX 75087

SAMRA ISSAM F & REEM M ABOU-SAMRA
1595 N HILLS DR
ROCKWALL, TX 75087

LANSING RONALD DOUGLAS
1595 SUNSET HILL DR
ROCKWALL, TX 75087

LUSTIK KENNETH & ROBERT HOPSON
1596 N HILLS DR
ROCKWALL, TX 75087

STACY JEFFREY B
1596 SUNSET HILL DR
ROCKWALL, TX 75087

JONES LALANII
1597 EDMONDSON TRAIL
ROCKWALL, TX 75087

LANGFORD DAVID NEIL AND MELANIE HILBERT
1597 HAVEN HILL COURT
ROCKWALL, TX 75087

SHEEHAN JAMES C & JULIA
1597 N HILLS DR
ROCKWALL, TX 75087

SPARKS JOHN & MARIA
1597 SUNSET HILL DR
ROCKWALL, TX 75087

RUSSELL ALAN DUANE
1598 NORTH HILLS DR
ROCKWALL, TX 75087

WILSON DOUGLAS L AND DANA J
1598 SUNSET HILL DR
ROCKWALL, TX 75087

VILLAPANDO ANTONIO & MARIA
1599 HAVEN HILL CT
ROCKWALL, TX 75087

COWAN JOHN CAMERON AND KATHLEEN
VANWAGNER
1599 NORTH HILLS DR
ROCKWALL, TX 75087

CHAPMAN DIANA STEGER
1599 SUNSET HILL DR
ROCKWALL, TX 75087

JONES JOHNNY DEWAYNE & MARTHA A
1600 N LAKESHORE DRIVE
ROCKWALL, TX 75087

TUNKS TERRY AND ELIZABETH
1601 N HILLS DR
ROCKWALL, TX 75087

CLARK GERALD B ETUX
1601 STONEYBROOK DR
ROCKWALL, TX 75087

ORTIZ SAM J & ADELLA J
1602 AMESBURY LN
ROCKWALL, TX 75087

SAMPSON DEAN & BARBARA KELLUM
1602 MONTCLAIR DR
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
1602 NORTH HILLSDR
ROCKWALL, TX 75087

EK REAL ESTATE SERVICES OF NY LLC
1602 SUNSET HILLDR
ROCKWALL, TX 75087

CONFIDENTIAL
1603 NORTH HILLS DRIVE
ROCKWALL, TX 75087

SAENZ DIANA GONZALEZ
1603 STONEYBROOK DR
ROCKWALL, TX 75087

STEWART KAREN IRENE WILLIAMS
1604 AMESBURY LN
ROCKWALL, TX 75087

PHILIPS PAUL AND PATRA M
1604 MONTCLAIR ST
ROCKWALL, TX 75087

KLUTTS BEN A JR & JULIE C
1604 N HILLS DR
ROCKWALL, TX 75087

STIEGELMAR RICHARD AND
STIEGELMAR JACK
1604 SUNSET HILLDR
ROCKWALL, TX 75087

MCINTIRE PRESTON G AND SANDY M LOMELI
1605 AMESBURY LANE
ROCKWALL, TX 75087

CLARK LUTHER A ETUX
1605 N HILLS DR
ROCKWALL, TX 75087

GRAY LISA MICHELE
1605 STONEYBROOK DRIVE
ROCKWALL, TX 75087

POWERS LISA A AND ROBERT H
1606 AMESBURYLN
ROCKWALL, TX 75087

JISTEL MICHAEL & SABRA
1606 MONTCLAIR DR
ROCKWALL, TX 75087

WATSON MATTHEW W & JAMIE D
1606 NORTH HILLS DRIVE
ROCKWALL, TX 75087

JOHNSTON ALTON W & PEGGY F
1607 AMESBURY LN
ROCKWALL, TX 75087

STARR RICHARD AND KATRINA STARR
1607 NORTH HILLS DRIVE
ROCKWALL, TX 75087

SHIELDS CHARLENE
1607 STONEYBROOK DRIVE
ROCKWALL, TX 75087

BURTON DAVID A & MARY KAY
1608 AMESBURY LN
ROCKWALL, TX 75087

BOULLION PAMELA S TOPPER
1608 MONTCLAIR DR
ROCKWALL, TX 75087

CONNALLY DAVID & VICKIE
1608 N HILLS DR
ROCKWALL, TX 75087

ADAMS BRAD AND KASHA
1609 AMESBURY
ROCKWALL, TX 75087

BENAVIDES JORGE
1609 NORTH HILLS DR
ROCKWALL, TX 75087

CASE DAVID L ETUX
1609 STONEYBROOK DR
ROCKWALL, TX 75087

TUCKER EARL W & MELINDA K
1610 AMESBURY LN
ROCKWALL, TX 75087

TOCHKOV KIRIL AND KARIN
1610 MONTCLAIR DR
ROCKWALL, TX 75087

CONFIDENTIAL
1610 NORTH HILLS DRIVE
ROCKWALL, TX 75087

SCAMPERINO CHARLES AND
BRIDGETT AND COOPER
1611 AMESBURY LANE
ROCKWALL, TX 75087

JOHNSON CLARENCE R & CASANDRA L
1704 BAY WATCH DR
ROCKWALL, TX 75087

LYNCH CHRISTOPHER J
1705 BAY WATCH DRIVE
ROCKWALL, TX 75087

WHITAKER MARTIN & DORIS
1715 BAY WATCH DR
ROCKWALL, TX 75087

HIETBRINK BERNARD D & MELISSA L
1725 BAY WATCH DR
ROCKWALL, TX 75087

WHALIN GREGORY L & TERRI B
1733 BAY WATCH DR
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

POWERS LISA A AND ROBERT H
2039 MORNING DOVE ST
SAN ANTONIO, TX 78232

HALL RALPH H AND
BRETT A HALL AND J BLAKEKEY HALL
207 EAST RUSK
ROCKWALL, TX 75087

EK REAL ESTATE SERVICES OF NY LLC
215 PARK AVENUE SOUTH SUITE 1713
NEW YORK, NY 10003

BEAUBIEN ALAN AND
REVI MENASCHE
2438 ADAMS STREET
HOLLYWOOD, FL 33020

TURNER KYLE R AND
ROGER D TURNER
520 MORAINE WAY
HEATH, TX 75032

GRAVES QING YUE
607 CHRISTIAN CT
ROCKWALL, TX 75087

GOODRICH GLENN W JR & KELLYE JAYE
608 CHRISTAN CT
ROCKWALL, TX 75087

GALLOWAY PRESTON AND BRITTANY
609 CHRISTAN COURT
ROCKWALL, TX 75087

SANTOS JUAN S AND TINA M
610 CHRISTIAN CT
ROCKWALL, TX 75087

TORKELSON KELLY L & STEVEN A
610 KNOLLWOOD DR
ROCKWALL, TX 75087

MOORE VELVET AND DANIEL
611 CHRISTIAN CT
ROCKWALL, TX 75087

STEWART-JOHNSON LOIS DIANNE
612 CHRISTAN CT
ROCKWALL, TX 75087

ELLIS TEX W & MONA E
612 KNOLLWOOD DRIVE
ROCKWALL, TX 75087

DYLONG RONALD C & PAULA S
613 CHRISTANCT
ROCKWALL, TX 75087

CARTER KAREN
614 CHRISTAN COURT
ROCKWALL, TX 75087

BLAKE DAVID G & SARAH E
614 KNOLLWOOD DRIVE
ROCKWALL, TX 75087

DEFEBAUGH CONNOR AND KELSEY BYRNES
615 CHRISTIAN COURT
ROCKWALL, TX 75087

HARMON ROBERT R & KIMBERLY
616 CHRISTAN CT
ROCKWALL, TX 75087

ETTER CHARLES W & LINDA L
616 KNOLLWOOD DR
ROCKWALL, TX 75087

GRIFFIN BILLY G AND PATRICIA L
617 CHRISTAN CT
ROCKWALL, TX 75087

ALVAREZ CHRISTINA & LEROY
618 KNOLLWOOD DR
ROCKWALL, TX 75087

DYLONG RONALD C & PAULA S
618 SUNSET HILL DR
ROCKWALL, TX 75087

DEMEYER DANIEL T & ELAINE S
620 KNOLLWOOD DR
ROCKWALL, TX 75087

MILLER LAUREN & BARBARA REVOCALBE TRUST
LAUREN P & BARBARA E MILLER CO-TRUSTEES
622 KNOLLWOOD DR
ROCKWALL, TX 75087

EDWARDS BRYAN K & SUSAN L
624 KNOLLWOOD DR
ROCKWALL, TX 75087

STIEGELMAR RICHARD AND
STIEGELMAR JACK
7 MAGNOLIA DR
MEXICO BEACH, FL 32456

DOLAS TAMARA AND DALIBOR
710 BELFORD DR
ROCKWALL, TX 75087

VILLARREAL GONZALO FLORES AND EDITH
711 MCFARLIN PL
ROCKWALL, TX 75087

ANDERSON STEPHEN R & CHRISTINE R
712 BELFORD DRIVE
ROCKWALL, TX 75087

THOMPSON BENJAMIN
713 MCFARLIN PLACE
ROCKWALL, TX 75087

2013 ABBONDANDOLO FAMILY TRUST
714 BELFORD DR
ROCKWALL, TX 75087

PARAMOUNT LAURELS LLC
PO BOX 786
WYLIE, TX 75098

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-020: Specific Use Permit for a House of Worship

Hold a public hearing to discuss and consider a request by St. Benedict's Anglican Church on behalf of Brett Hall for the approval of a Specific Use Permit (SUP) for a House of Worship on a 7.45-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 13, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2021-020: Specific Use Permit for a House of Worship

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2021-020: Specific Use Permit for a House of Worship

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

TRAFFIC, NOISE, HAZARDOUS CONDITION when 80,000 pound
Trucks come over the hill and cars are trying to turn.
MAIN ENTRANCE should NOT be from Lakeshore Dr.
because of the hills visibility is too short.

Name:

Dean Sampson

Address:

1602 Mountain

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Case No. Z2021-020: Specific Use Permit for a House of Worship

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I live in the Preserves since 2010. The traffic has steadily increased in the ten years I've been here. A Church will only increase the daily traffic and cause more than likely the value of the homes in the immediate area to lose value. I live a block away

Name:

Dr. Alfred F. Walden

Address:

1583 Edmonds Trail, Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



DT

From: [Miller, Ryan](#)
To: [Gonzales, David](#)
Subject: FW: Z2021-020
Date: Monday, June 28, 2021 12:07:33 PM
Attachments: [image003.png](#)
[image004.png](#)

For your case ...

RYAN C. MILLER, AICP

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL

972.772.6441 OFFICE

RMILLER@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

HELPFUL LINKS | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [UNIFIED DEVELOPMENT CODE](#)

NOTES

- 1) APPOINTED AND ELECTED OFFICIALS: BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD

From: TOWNSEND, MICHAEL <[REDACTED]>
Sent: Monday, June 28, 2021 12:06 PM
To: Miller, Ryan <RMiller@rockwall.com>
Subject: Z2021-020

I don't like it. I do not think that is a good place in the middle of a residential neighborhood for a church. I think we should keep it residential.

On another note, Its Ralph's house, it will always be Ralph's house and I don't want that to change.

I vote no on that case.

Thanks

Michael Townsend

1235 Farilakes Pointe

Rockwall, Texas 75087

On a side note. I hope all is well and they are not working you too hard. Keep up the good work, my friend.

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From: [Victoria Villapando](#)
To: [Gonzales, David](#)
Subject: 1500 Sunset Drive
Date: Tuesday, June 29, 2021 8:43:42 AM

I attended the meeting with the new owners and these are the issues I have brought up with them:

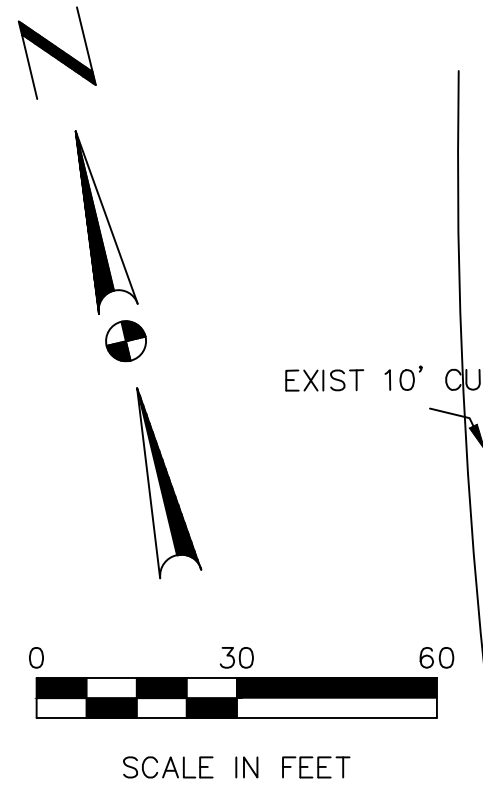
1. Once given the SUP, does the zoning change from residential? If so, then I would say NO to the special use permit. It would drop property values if the zoning is changed since in this area, it is all residential. The church which has a very limited population (as we were told-60 members). does not serve this neighborhood. If it gets sold after the church closes, either from lack of membership or from from growth, may be purchased by any other church without the need for planning or zoning again.
2. The concept use plan, does not really tell us a lot on what will be built. It is a concept which may or may not be built later on, or be changed to a bigger church, parking lot, and everything else that comes with it. I ask whether this is the best use for this land due to infrastructure in this area that is old (1980's). No sidewalks in the main road of Lakeshore. No drainage plan on Haven Hill, from that hill as it goes down the Culdesac, electric posts are old. They need to build a sidewalk in front of the property, if they are going to use it for church use. Wouldn't pedestrians have to use a sidewalk? How about lamp posts, lighting? There is a big need for upgrade on the electric poles up this hill. Oncor did one post 2-3 years ago due to some problem in the alley. But electricity here drops sometimes.
3. How will the development, impact our storm water on Haven Hill? Will the detention pond be paved? Will it carry mosquitoes? We are already having a rough time with mosquitoes in the area. Will it have steel fences to keep it from neighborhood kids playing in the area?
4. We need neighbors up this hill. I am sure they have good intentions. But at the end of the end of the day, we get to stay here because this is our home. Church members get to go back to their homes. We want permanent neighbors, and a development that will provide other avenues to the neighborhood behind us by road. Right now we have no access to roads other than Lakeshore Dr.
5. Will this SUP improve our property values, or bring down the property values?

so many unanswered question so I say No to the SUP. I would rather keep that area residential. I think that is the best use for this property.

Thanks!
Victoria Villapando
1599 Haven Hill Ct. Rockwall TX 75087

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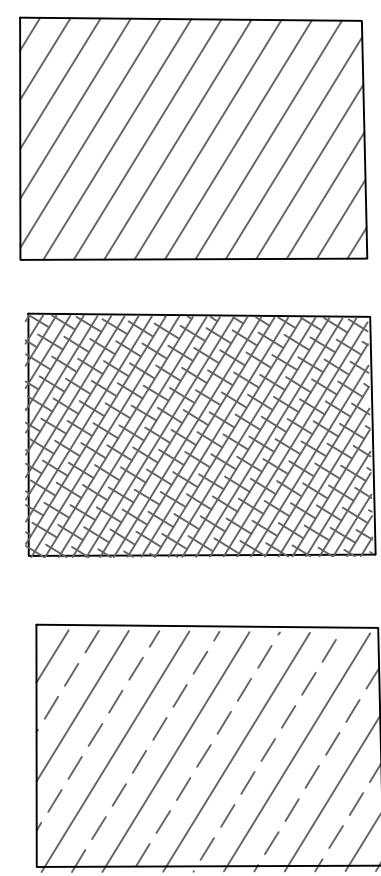


DETENTION POND

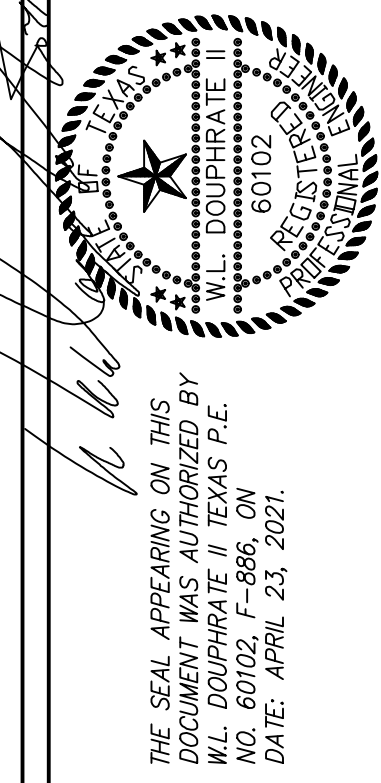
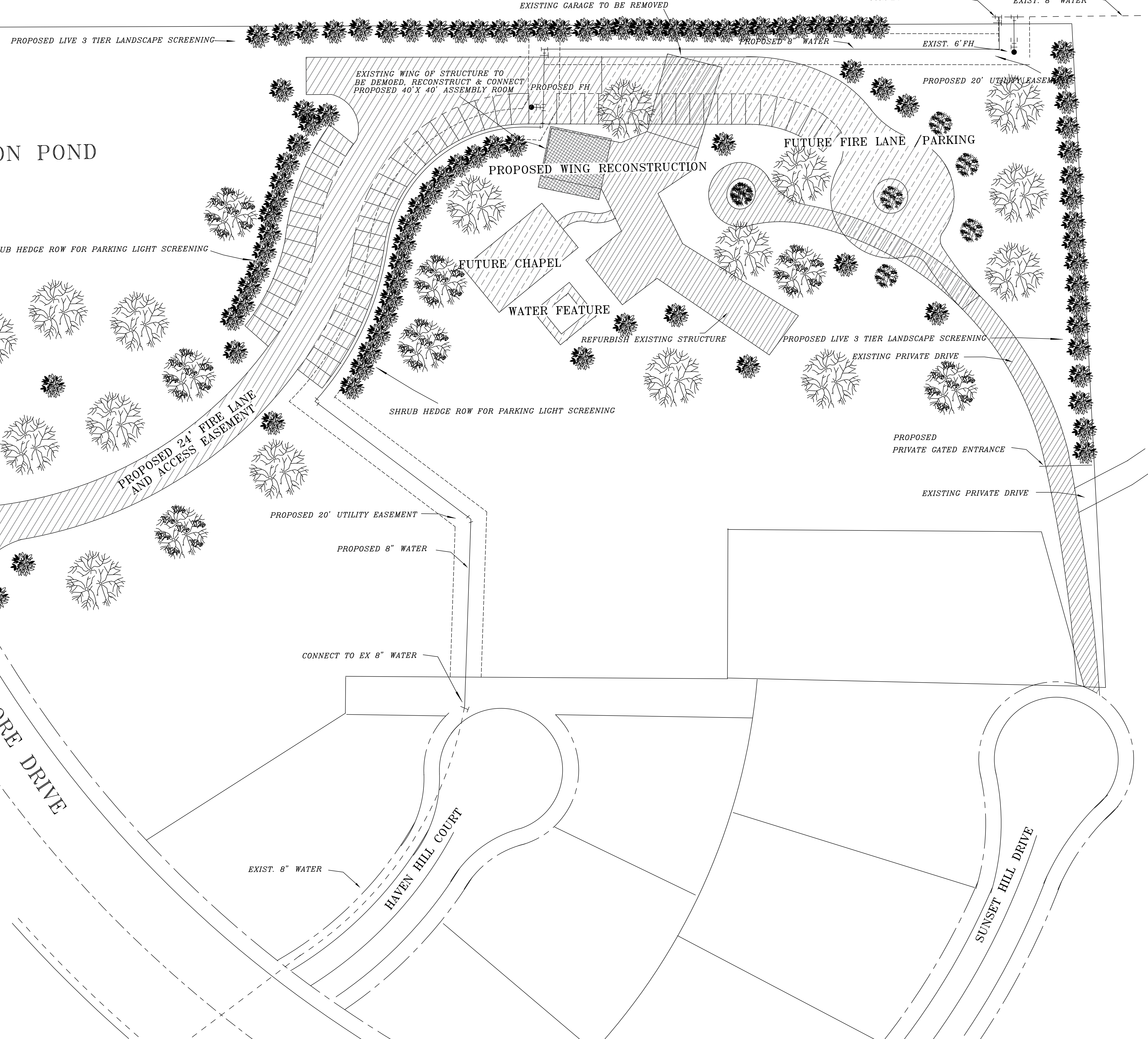
N. LAKESHORE DRIVE

HAVEN HILL COURT

SUNSET HILL DRIVE



PROPOSED IMPROVEMENTS
 PROPOSED ASSEMBLY ROOM
 FUTURE IMPROVEMENTS



DOUPHRATE & ASSOCIATES, INC.
 ENGINEERING PROJECT MANAGEMENT SURVEYING
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972)771-9004 FAX: (972)771-9005

CONCEPT PLAN
 ST. BENEDICT'S ANGLICAN CHURCH PROPERTY
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

REVISION	W.L.D.
CHECKED	GCW.
DRAWN	
SCALE	1" = 30' H 1" = 30' V
DATE	APRIL 23, 2021
PROJECT	21007 SITE PL.
	20

92696

NON-HOMESTEAD AFFIDAVIT AND DESIGNATION OF HOMESTEAD

STATE OF TEXAS)

COUNTY OF ROCKWALL)

property, to-wit:

Being two tracts of land containing 5 acres of land in the W. B. Bowles Survey and the A. Hanna Survey, situated in Rockwall County, Texas, and being more fully described on Exhibit "A" attached hereto and made a part hereof at this point for all purposes.

*Survey
acres*

That they now reside upon, use and claim as their legal homestead the following described property, to-wit:

Being 2.9807 acres of land in the W. B. Bowles Survey and the A. Hanna Survey, situated in Rockwall County, Texas, and being more fully described on Exhibit "B" attached hereto and made a part hereof at this point for all purposes;

House

which said last described property is urban in nature.

EXHIBIT "A" TO NON-HOMESTEAD AFFIDAVIT AND DESIGNATION OF HOMESTEAD FROM RALPH M. HALL AND WIFE, MARY ELLEN HALL, TO THE PUBLIC

TRACT ONE:

All that certain lot, tract or parcel of land situated in the W. B. Bowles Survey, Abstract No. 12, and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being a portion of the alleys in Block J and Block H of NORTSHORE PHASE TWO, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Slide A, Page 328, Plat Records, Rockwall County, Texas, and subsequently vacated by Vacation of Plat recorded in Volume 198, Page 633, Real Estate Records, Rockwall County, Texas, and being the same tract of land described in a Warranty Deed from First Texas Savings Association to Ralph M. Hall, as recorded in Volume 200, Page 665, Rockwall County Deed Records, and being more particularly described as follows:

BEGINNING at an iron rod on the most Northerly East line of the above mentioned vacated Plat, said point being the Northeast corner of the above cited Deed, said point also being at the Northerly Northwest corner of a tract of land conveyed to Ralph Hall, recorded in Volume _____, Page _____, Rockwall County Deed Records;

THENCE along the West lines of said Hall Tract, recorded in Volume _____, Page _____, and the most Northerly East lines of said Vacated Plat as follows:

- S. 00° 13' 39" W. a distance of 130.00 feet to an iron rod for a corner;
S. 89° 39' 42" E. a distance of 126.84 feet to an iron rod for a corner;
S. 00° 22' 42" W. a distance of 299.78 feet to an iron rod for a corner at the most Southerly Southwest corner of said Hall Tract, recorded in Volume _____, Page _____, said point also being on the North line of NORTSHORE PHASE 2-A, a proposed Addition to the City of Rockwall;

THENCE along a North line of said proposed Addition in a Northwesterly direction along a curve to the right, having a central angle of 20° 54' 33" a radius of 50.00 feet, a chord bearing of N. 78° 48' 21" W., a chord of 18.15 feet, a distance of 18.25 feet to an iron rod for a corner;

THENCE S. 21° 38' 55" W. a distance of 20.00 feet to an iron rod for a corner at the Northwest corner of Lot 1, Block A of said proposed Addition;

THENCE S. 54° 03' 59" W. along the Northwest line of said Lot 1 a distance of 148.27 feet an iron rod for a corner in the Easterly line of North Lake Shore Drive;

THENCE along the Easterly line of North Lake Shore Drive as follows:

- In a Northerly direction, along a curve to the right, having a central angle of 18° 13' 08" a radius of 750.00 feet, a chord bearing N. 26° 49' 27" W., a chord of 237.48 feet, and an arc distance of 238.49 feet to an iron rod for a corner;
N. 17° 42' 53" W. a distance of 131.37 feet to an iron rod at the Point of Curvature of a curve to the right, having a central angle of 15° 21' 28" a radius of 750.00 feet, a chord bearing of N. 10° 02' 09" W., a chord of 200.43 feet, and an arc distance of 201.03 feet to an iron rod for a corner;

THENCE S. 89° 29' 00" E. a distance of 202.97 feet to the POINT OF BEGINNING and containing 2.6547 acres of land.

TRACT TWO:

All that certain lot, tract or parcel of land situated in the W. B. Bowles Survey, Abstract No. 12, and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being part of a 5.326 acre tract of land conveyed to Ralph M. Hall by Deed recorded in Volume _____,

Page _____, Rockwall County Deed Records, and being more particularly described as follows:

BEGINNING at iron rod at the Northwest corner of the above cited tract of land, said point also being the Northeast corner of a tract of land described in a Warranty Deed from First Texas Savings Associates to Ralph M. Hall, as recorded in Volume 200, Page 665, Rockwall County Deed Records;

THENCE S. 89° 29' 00" E. a distance of 227.50 feet to an iron rod for corner;

THENCE S. 00° 22' 42" W. a distance of 300.00 feet to an iron rod for a corner;

THENCE S. 89° 29' 00" E. a distance of 329.22 feet to an iron rod for a corner;

THENCE S. 00° 20' 43" W. a distance of 129.38 feet to an iron rod for a corner in the South line of the above cited 5.326 acre tract;

THENCE N. 89° 29' 00" W. along the South line of said 5.326 acre tract a distance of 429.61 feet to an iron rod for corner at the Southwest corner of said 5.326 acre tract, said point also being the most Easterly Southeast corner of the above cited tract recorded in Volume 200, Page 665;

THENCE along the West lines of said 5.326 acre tract and the East lines of said tract recorded in Volume 200, Page 665, as follows:

N. 00° 22' 42" E. a distance of 299.78 feet to an iron rod for a corner;

N. 89° 39' 42" W. a distance of 126.84 feet to an iron rod for a corner;

N. 00° 13' 39" E. a distance of 130.00 feet to the POINT OF BEGINNING and containing 2.3453 acres of land.

*and, same & except for .5318
acres, the Ralph Hall addition, Phase 2,
Lot 10, described in Vol. 5349, page 1,
of the Rockwall Co. Deed Records.*

*↑
(This made the surrounding
land approx 4.5 acres)*

EXHIBIT 'B' TO NON-HOMESTEAD AFFIDAVIT AND
DESIGNATION OF HOMESTEAD FROM
RALPH M. HALL AND WIFE, MARY ELLEN HALL, TO
THE PUBLIC

All that certain lot, tract or parcel of land being a 5.326 acre tract of land out of the A. Hanna Survey, and the W. B. Bowles Survey, Rockwall County, Texas, and being a portion of a 2.00 acre tract and a 5.00 acre tract as recorded in Volume 87, Page 488, Deed Records, Rockwall County, Texas;

BEGINNING at the Northwest corner of a 2.00 acre tract recorded in Volume 87, Page 488, Deed Records, Rockwall County, Texas;

THENCE along the North line of said 2.00 acre tract, South 89° 29' East, 628.5 feet to an iron pin;

THENCE South 00° 20' 43" West, 430.00 feet to an iron pin in the South line of a 5.00 acre tract recorded in Volume 87, Page 488, Deed Records, Rockwall County, Texas;

THENCE along said South line, North 89° 29' West 501.00 feet to the Southwest corner of said 5.00 acre tract;

THENCE North 00° 20' 43" East, 300.00 feet to the Northwest corner of said 5.00 acre tract and being in the South line of said 2.00 acre tract;

THENCE along the South line of said 2.00 acre tract, North 89° 29' West 127.5 feet to an iron pin and the Southwest corner of said 2.00 acre tract;

THENCE North 00° 20' 43" East, 130.00 feet to the Point of Beginning, containing 5.326 acres of land, more or less.

SAVE AND EXCEPT THE FOLLOWING DESCRIBED TRACT OF LAND:

All that certain lot, tract or parcel of land situated in the W. B. Bowles Survey, Abstract No. 12, and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being part of a 5.326 acre tract of land conveyed to Ralph M. Hall by Deed recorded in Volume _____, Page _____, Rockwall County Deed Records, and being more particularly described as follows:

BEGINNING at iron rod at the Northwest corner of the above cited tract of land, said point also being the Northeast corner of a tract of land described in a Warranty Deed from First Texas Savings Associates to Ralph M. Hall, as recorded in Volume 200, Page 665, Rockwall County Deed Records;

THENCE S. 89° 29' 00" E. a distance of 227.50 feet to an iron rod for corner;

THENCE S. 00° 22' 42" W. a distance of 300.00 feet to an iron rod for a corner;

THENCE S. 89° 29' 00" E. a distance of 329.22 feet to an iron rod for a corner;

THENCE S. 00° 20' 43" W. a distance of 129.38 feet to an iron rod for a corner in the South line of the above cited 5.326 acre tract;

THENCE N. 89° 29' 00" W. along the South line of said 5.326 acre tract a distance of 429.61 feet to an iron rod for corner at the Southwest corner of said 5.326 acre tract, said point also being the most Easterly Southeast corner of the above cited tract recorded in Volume 200, Page 665;

THENCE along the West lines of said 5.326 acre tract and the East lines of said tract recorded in Volume 200, Page 665, as follows:

N. 00° 22' 42" E. a distance of 299.78 feet to an iron rod for a corner;

N. 89° 39' 42" W. a distance of 126.84 feet to an iron rod for a corner;

N. 00° 13' 39" E. a distance of 130.00 feet to the POINT OF BEGINNING and containing 2.3453 acres of land.

Handwritten notes and signatures:
- Signature at top right
- Arrow pointing to 'Hanna' and '2.9 acres'
- Signature at bottom right with '200' and '665' written nearby

FILED FOR RECORD 20th DAY OF March, A.D., 1989 at _____ M.
RECORDED JM DAY OF March, A.D., 1989.
PAULETTE BURKS, COUNTY CLERK, ROCKWALL COUNTY, TEXAS.
BY: [Signature], DEPUTY

CITY OF ROCKWALL

ORDINANCE NO. 21-~~XX~~

SPECIFIC USE PERMIT NO. S-2~~XX~~

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A *CHURCH/HOUSE OF WORSHIP* WITHIN A SINGLE-FAMILY 10 (SF-10) DISTRICT, ON A 7.45-ACRE TRACT OF LAND, IDENTIFIED AS TRACTS 3 & 10 OF THE W. B. BOWLES SURVEY, ABSTRACT NO. 12 AND THE A. HANNA SURVEY, ABSTRACT NO. 98, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by St. Benedict's Anglican Church on behalf of Brett Hall for the approval of a Specific Use Permit (SUP) for a *Church/House of Worship* on a 7.45-acre tract of land identified as Tracts 3 & 10 of the W.B. Bowles Survey, Abstract No. 12 and the A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 1500 Sunset Hill Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Church/House of Worship* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be subject to the requirements set forth in Subsection 02.03(C)(2), *Church/House of Worship*, of Article 04, *Permissible Uses* and

Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall -- as heretofore amended and as my be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *Church/House of Worship* land use on the *Subject Property* and conformance to these conditions is necessary for continued operations:

- (1) The *Church/House of Worship* facility shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) Any changes or additions to the exterior of the existing structures or the addition of new structures shall be required to be reviewed by the Architectural Review Board (ARB) and approved by the Planning and Zoning Commission.
- (3) Headlight screening shall be incorporated adjacent to the parking areas as depicted on the *Concept Plan* in *Exhibit 'B'* of this ordinance.
- (4) Three (3) tiered screening (*i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees*) shall be incorporated adjacent to the northern and eastern property lines of the subject property generally as depicted on the *Concept Plan* in *Exhibit 'B'* of this ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- (1) Upon obtaining a *Certificate of Occupancy (CO)*, should any business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or

provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF AUGUST 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

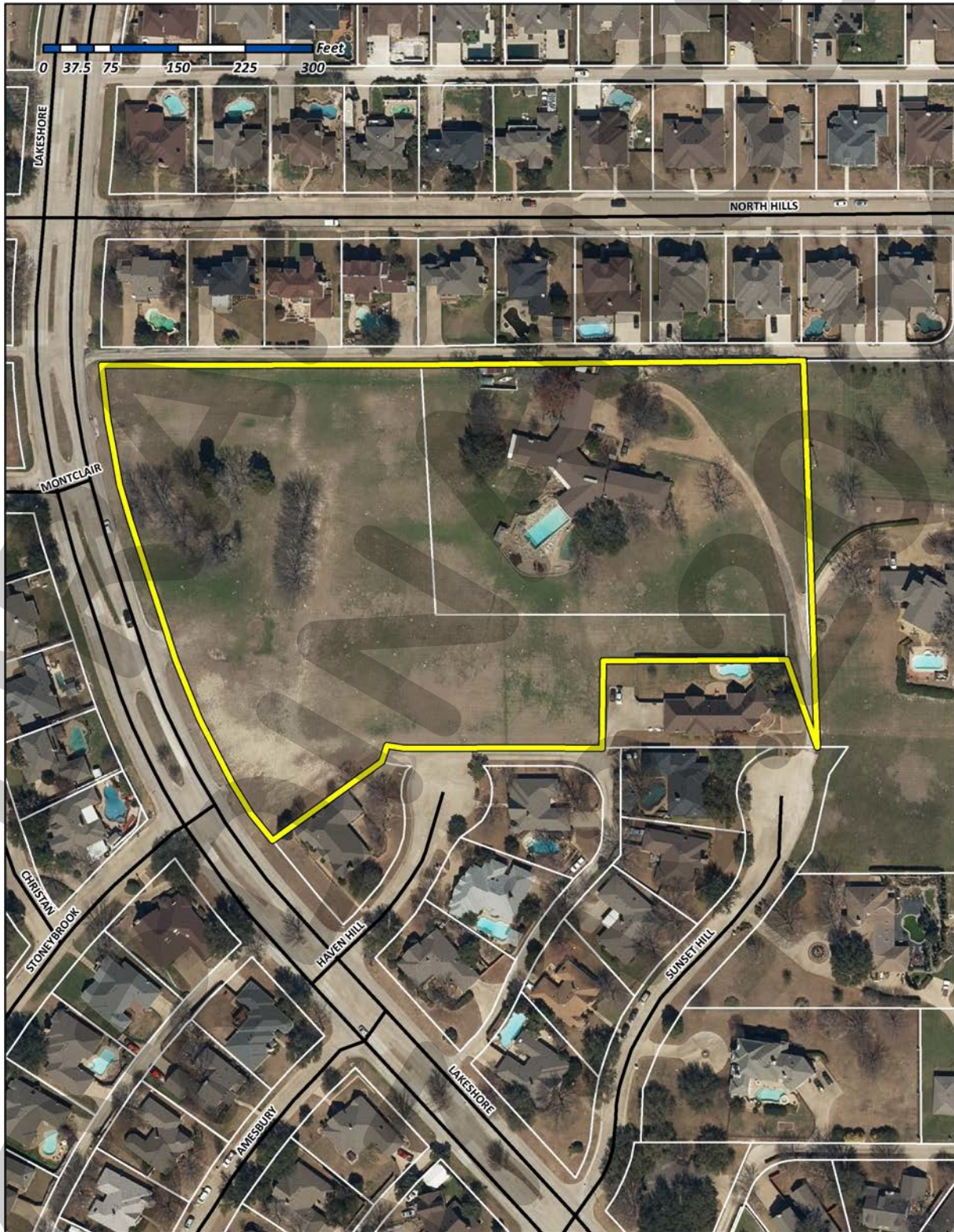
1st Reading: July 19, 2021

2nd Reading: August 2, 2021

Exhibit 'A'
Legal Description and Location Map

Legal Description: Tracts 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey, Abstract No. 98

Address: 1500 Sunset Hill Drive





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 13, 2021
APPLICANT: Stephen Seitz; *Seitz Architects, Inc.*
CASE NUMBER: Z2021-021; *Specific Use Permit for The Vault Self Storage*

SUMMARY

Hold a public hearing to discuss and consider a request by Stephen Seitz of Seitz Architects, Inc. on behalf of Jim Vaudagna of the Vault Self-Storage for the approval of a Specific Use Permit (SUP) the expansion of an existing Mini-Warehouse Facility on a 6.06- acre parcel of land identified as Lot 1, Block C, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1280 E. Ralph Hall Parkway, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on December 7, 1981 by *Ordinance No. 81-33 [Case No. A1981-002]*. On January 4, 1982, the City Council approved a zoning change for the subject property from Agricultural (AG) District to Planned Development District 14 (PD-14) by *Ordinance No. 82-02*. On November 5, 2009, the City Council approved *Ordinance No. 09-42*, which was a city-initiated zoning change [*Case No. Z2009-016*] rezoning the subject property from Planned Development District 14 (PD-14) to a Commercial (C) District. By changing the zoning on the subject property to a Commercial (C) District the *Mini-Warehouse Facility* land use went from being a permitted *by right* use in the Light Industrial (LI) District to requiring a Specific Use Permit (SUP) in a Commercial (C) District. On June 3, 2013, the City Council approved a Specific Use Permit (SUP) [*S109; Case No. Z2013-015; Ordinance No. 13-15*] to allow the expansion of an existing *Mini-Warehouse Facility*. On November 4, 2013, the City Council approved [*S113; Case No. 2013-025*] to amend SUP *Ordinance No. 13-15* to allow for rental vehicles as an accessory use to the *Mini-Warehouse Facility*. After the passage of *Ordinance No. 17-17 -- which amended the requirements for Specific Use Permits (SUP)'s --, Ordinance No. 13-15* expired on March 20, 2018 in accordance with the requirements of the Unified Development Code (UDC).

PURPOSE

The applicant -- *Stephen Seitz of Seitz Architects Inc.* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the expansion of an existing *Mini-Warehouse Facility* as stipulated by Subsection 02.03 (J), *Wholesale, Distribution and Storage Land Uses*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1280 E. Ralph Hall Parkway. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Ralph Hall Parkway, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land developed with Commercial (C) District land uses. Beyond this is S Goliad Street, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a vacant 31.03-acre tract of land zoned Commercial (C) District. Beyond this is a vacant 20.562-acre parcel of land that serves as the open space for the Flagstone Estates Subdivision. Beyond this are three (3) parcels of land zoned Heavy Commercial (HC) District.

East: Directly east of the subject property are three (3) parcels of land, where two (2) are developed with Commercial (C) District land uses (i.e. Lot 1, Block B, Rockwall Business Park East Phase 2 and Tract 17 of the J.D. McFarland Survey) and one (1) is vacant (i.e. Tract 25-1 of the J Cadle Survey). Beyond this is S. Goliad Street, which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 17.1937-acre parcel of land that serves as the Meadowcreek Estates open space.

West: Directly west of the subject property is a vacant 6.28-acre parcel of land zoned for Commercial (C) District. Beyond this is E. Ralph Hall Parkway, which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several parcels of land developed with Commercial (C) District land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE WITH THE CITY'S CODE

On June 3, 2013 the applicant was approved [Case No. Z2013-015] to allow the expansion of their existing *Mini-Warehouse Facility* by Ordinance No. 13-15. This Specific Use Permit (SUP) has since expired prompting the applicant to resubmit. The mini-warehouse facility on the subject property covers 40.26% (or 2.44-acres) of the 6.06-acre parcel of land and has a capacity of 275 storage units. The application submitted by the applicant is requesting to expand the site to cover approximately 75.90% (or 4.6-acres) of the subject property and have a total of 568 storage units (or a 293-unit increase). According to Subsection 02.03 (J)(1)(a), of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), "...(t)he number of storage units per acre shall not exceed 125, the minimum number of storage units shall be ten (10), and the maximum site area shall be five (5) acres." The total expansion will bring the site area to 4.6-acres with approximately 123 units per acre. The applicant has stated that the expansion will be completed in two (2) phases with the first phase being the expansion of the facility to the west [depicted as Buildings A, B, C & D on the concept plan]. The second phase will include the demolition of an existing 9,062 SF building to make room for the construction of two (2) new buildings [depicted as Buildings E & F on the concept plan].

According to Subsection 03.02 of Article 11, *Applicability*, of the Unified Development Code (UDC) an amended site plan will be required if "...(a)ll expansions of an existing non-residential building or structure that increases the existing floor area by 30% or that adds 2,000 SF of floor area." As the property exists today the total floor area is 45,011 SF. In conformance with this increase the applicant will be required to submit a site plan with building elevations, a landscaping plan and photometric plan indicating conformance to the current standards. In order to demonstrate conformance with all of the use requirements detailed in Subsection 02.03 (J), of Article 04, *Permissible Uses*, of the UDC the applicant has submitted concept elevations that will be included in the SUP ordinance. Additionally, all future submittals shall be required to generally adhere to these building elevations.

A summary of the use requirements for the *Mini-Warehouse Facility* land use stipulated by the Subsection 02.03 (J), *Wholesale, Distribution and Storage*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) is as follows:

<i>Code Requirement</i>	<i>Proposed Plan</i>	<i>Compliance</i>
The maximum site area shall not exceed five (5) acres.	4.6-Acres ¹	<i>In Conformance</i>
The maximum number of storage units shall not exceed 125 units per acre.	~123 Units/Acre	<i>In Conformance</i>
The maximum height shall not exceed one (1) story ² .	The storage facility buildings are one story in height and range from 13' – 24'-2".	<i>In Conformance</i>
The minimum number of parking spaces required is two (2).	9 Parking Spaces	<i>In Conformance</i>
No direct access from FM740, SH205, SH66, SH276, FM3097, FM552, FM549 or John King Boulevard.	Direct access from Ralph Hall Parkway only.	<i>In Conformance</i>

Overhead doors shall not face adjacent streets.	The facilities buildings all face inward and do not have doors visible from Ralph Hall Parkway.	<i>In Conformance</i>
All exterior walls facing the front, side and rear property lines shall be 100% brick construction.	All exterior walls on the site facing the front, side and rear property lines will utilize the same brick that is on the existing structures.	<i>In Conformance</i>
The front, side and rear building setback areas shall incorporate clustered landscaping.	<i>Will be handled at the time of the site plan submittal on the Landscaping Plan.</i>	<i>Landscaping Plan</i>
Gates shall be incorporated limiting access to the facility.	Existing and proposed wrought iron gates.	<i>In Conformance</i>
Screening fences shall be wrought iron or masonry.	Masonry Screening Fence	<i>In Conformance</i>
Concrete shall be used for all paving.	All future paving will be concrete.	<i>In Conformance</i>
Roof shall have a minimum roof pitch of 1:3 and be constructed with metal standing seam.	The roof pitches will be 12:6, 12:5, & 12:1 with metal standing seam used on the interior buildings and Spanish tile used on the exterior buildings. This will match the existing structures on the site.	<i>Not In Conformance</i> ³
Lighting standards shall be limited to a maximum of 20-feet in height.	<i>Will be handled at the time of site plan submittal on the Photometric Plan.</i>	<i>Photometric Plan</i>

NOTES:

- ¹: Total site area is 6.06-acres. The subject property was platted as Lot 1, Block C of the Rockwall Business Park East Addition in August of 1982 prior to the adoption of this requirement.
- ²: If necessary, the office/care taker residence-unit may exceed one story, but shall not exceed 36-feet in height. The office/care taker residence is currently located on the second floor of an existing building that stands 24' 2".
- ³: The proposed roof pitches are intended to match the existing buildings and the Spanish style of architecture that was required at the time of construction, which was prior to the adoption of this requirement.

With the exception of the proposed roof pitch the applicant's request is in conformance with all applicable requirements stipulated in Article 04, *Permissible Uses*, of the UDC.

STAFF ANALYSIS

In this case, the applicant's request generally conforms with the requirements set forth by Subsection 02.03 (J)(1), *Wholesale, Distribution and Storage Land Uses*, of Article 04, *Permissible Uses*, of the Unified Development Code. According to Subsection 02.03 (J)(1)(n) "(r)ooofs shall have a minimum pitch of 1:3 and be constructed with a metal standing seam..." In this case the applicant is requesting a 12:6, 12:5, and 12:1 roof pitch. The applicant has stated that they are proposing these roof pitches to ensure the proposed buildings match the existing buildings on the subject property. Based on this, the approval of this variance does not appear to have a negative impact on any of the surrounding properties; however, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On June 29, 2021, staff mailed 20 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Flagstone Estates and Meadow Creek Estates Homeowner's Associations (HOAs), which are the HOA/Neighborhood Organizations that are within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for the expansion of an existing Mini-Warehouse Facility, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) All operations on this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) The building elevations submitted with the site plan shall generally adhere to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance.
 - (c) The minimum roof pitches for the proposed buildings shall be the same as the existing buildings or conform to the roof pitches called out on the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance.
 - (d) No outside storage of any kind shall be permitted on this site. This includes the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles.
 - (e) Businesses shall not be allowed to operate within individual storage units.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-021

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1280 E. Ralph Hall Parkway, Rockwall, Texas 75032**

SUBDIVISION **Rockwall Business Park East** LOT **1** BLOCK

GENERAL LOCATION **SE Corner at Highway 205 & Ralph Hall Parkway**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial**

CURRENT USE **Self Storage**

PROPOSED ZONING **Commercial**

PROPOSED USE **Additional Self Storage**

ACREAGE **6.06**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **The Vault Self Storage**

APPLICANT **Seitz Architects, Inc.**

CONTACT PERSON **Jim Vaudagna**

CONTACT PERSON **Stephen Seitz**

ADDRESS **1280 E. Ralph Hall Parkway**

ADDRESS **506 Meadowlake Lane**

CITY, STATE & ZIP **Rockwall, Texas 75032**

CITY, STATE & ZIP **Heath, Texas 75032**

PHONE **408.998.1488**

PHONE **214.537.9981**

E-MAIL **jvaudagna@comcast.net**

E-MAIL **sseitz@seitzarchitects.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jim Vaudagna [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

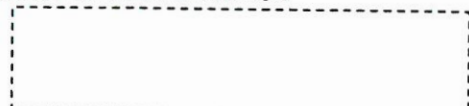
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

see attached CA acknowledgment



MY COMMISSION EXPIRES

ACKNOWLEDGMENT

A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Santa Clara} ss.

On 5/18/21 before me, J. NAT, Notary Public,

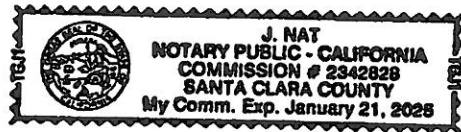
personally appeared James Vaudagna

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is are subscribed to the within instrument and acknowledged to me that he she they executed the same in his her their authorized capacity(ies), and that by his her their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature J. Nat



(seal)

OPTIONAL INFORMATION

Date of Document _____

Type or Title of Document Development Application

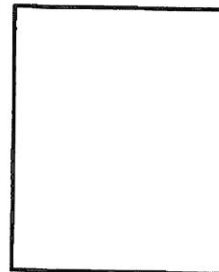
Number of Pages in Document _____

Document in a Foreign Language _____

- Type of Satisfactory Evidence:
- Personally Known with Paper Identification
 - Paper Identification
 - Credible Witness(es)

- Capacity of Signer:
- Trustee
 - Power of Attorney
 - CEO / CFO / COO
 - President / Vice-President / Secretary / Treasurer
 - Other: _____

Thumbprint of Signer



Check here if no thumbprint or fingerprint is available.

Other Information: _____



Z2021-021- SUP FOR THE VAULT SELF STORAGE ZONING - LOCATION MAP = [icon]

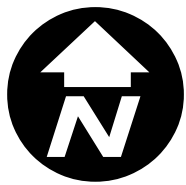
0 80 160 320 480 640 Feet



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

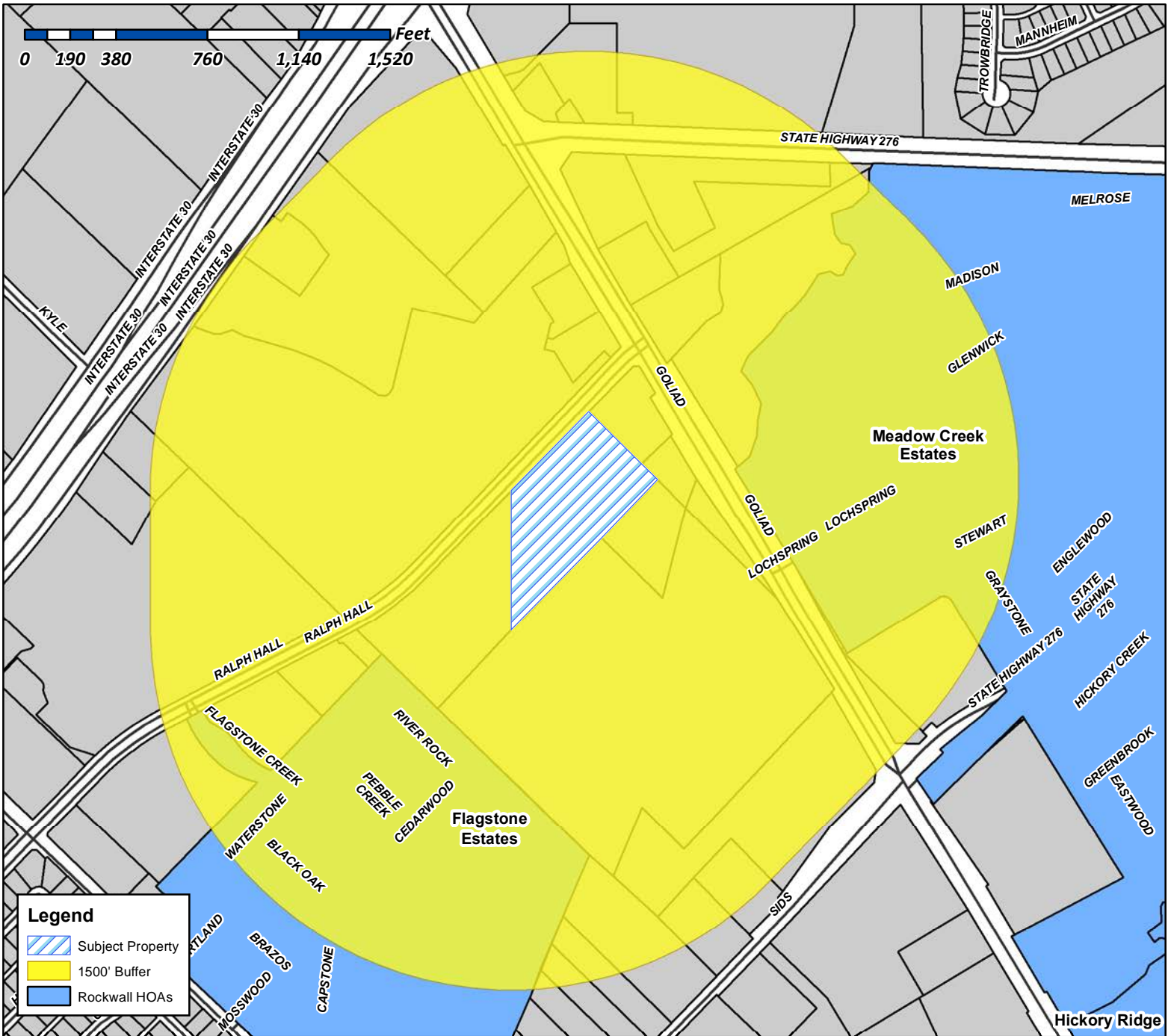




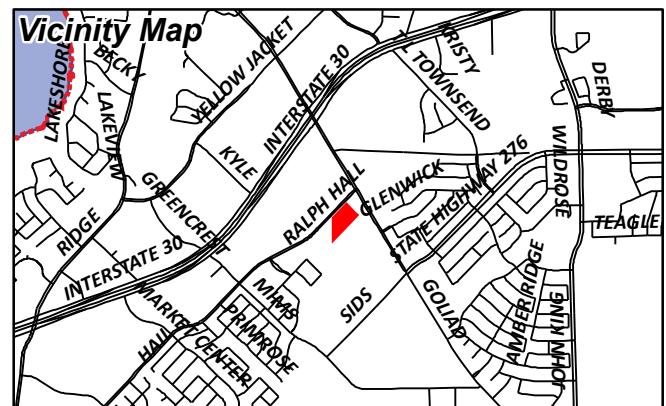
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Case Number: Z2021-021
Case Name: SUP for The Vault Self Storage
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1280 E. Ralph Hall Parkway



Date Created: 6/14/2021
For Questions on this Case Call (972) 771-7745

Lee, Henry

From: Gamez, Angelica
Sent: Monday, June 28, 2021 4:54 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-021]
Attachments: Public Notice (06.28.21).pdf; HOA Map Z2021-021.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on June 25, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, July 13, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 19, 2021 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-021 SUP for the Expansion of an Existing Mini-Warehouse Facility

Hold a public hearing to discuss and consider a request by Stephen Seitz of Seitz Architects, Inc. on behalf of Jim Vaudagna of the Vault Self-Storage for the approval of a *Specific Use Permit (SUP)* the expansion of an existing *Mini-Warehouse Facility* on a 6.06-acre parcel of land identified as Lot 1, Block C, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1280 E. Ralph Hall Parkway, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>



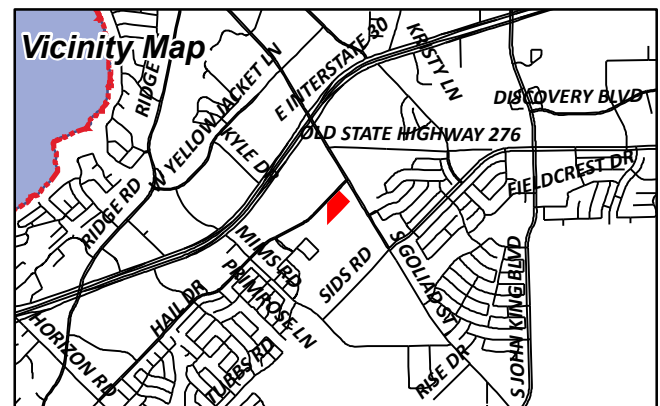
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Case Number: Z2021-021
Case Name: SUP for The Vault Self Storage
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1280 E. Ralph Hall Parkway



Date Created: 6/14/2021
For Questions on this Case Call (972) 771-7745

SERVIGNA FERNANDO &
MIGLIA VILLOBOS
10625 MATADOR DR
MCKINNEY, TX 75070

EXCEL ROCKWALL LLC
EXCELL ROCKWALL LLC
10920 VIA FRONTERA SUITE 220
SAN DIEGO, CA 92127

LEVO GROUP LLC
11 HAWTHORNE CIR
ALLEN, TX 75002

DALLAS EAST
ATTN; JIM VAUDAGNA
1280 E RALPH HALL PKWY
ROCKWALL, TX 75032

DALLAS EAST
ATTN; JIM VAUDAGNA
1445 W SAN CARLOS ST
SAN JOSE, CA 95126

LEVO GROUP LLC
2309 S GOLIAD
ROCKWALL, TX 75032

ROBERTS MARLYN & BARBARA
2325 S GOLIAD
ROCKWALL, TX 75032

GOLIAD EXPRESS LLC
2360 S.GOLIAD SUITE 145
ROCKWALL, TX 75032

REA-TRA LLC
2380 S GOLIAD SUITE 100
ROCKWALL, TX 75032

DALLAS EAST
ATTN; JIM VAUDAGNA
2400 S GOLIAD
ROCKWALL, TX 75032

STROTHER, CATHY
2410 S GOLIAD
ROCKWALL, TX 75032

HOWELL MTN RE LLC
2560 TECHNOLOGY DRIVE SUITE 100
PLANO, TX 75074

BACKUS WAYNE E
278 CORNSTALK RD
ROCKWALL, TX 75032

ROBERTS MARLYN & BARBARA
323 JULIAN DRIVE
ROCKWALL, TX 75087

GOLIAD EXPRESS LLC
700 PARKER SQUARE SUITE 145
FLOWER MOUND, TX 75028

SERVIGNA FERNANDO &
MIGLIA VILLOBOS
784 RIVER ROCK LN
ROCKWALL, TX 75032

ROBITZSCH DON W
790 RIVER ROCK LN
ROCKWALL, TX 75032

ZILINSKAS MATTHEW & CAROL
796 RIVER ROCK LANE
ROCKWALL, TX 75032

HENDERSON DAVID AND CHERYL
802 RIVER ROCK LN
ROCKWALL, TX 75032

STROTHER, CATHY
8935 CR 589
NEVADA, TX 75173

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-021: Specific Use Permit for Expansion of an Existing Mini-Warehouse Facility

Hold a public hearing to discuss and consider a request by Stephen Seitz of Seitz Architects, Inc. on behalf of Jim Vaudagna of the Vault Self-Storage for the approval of a Specific Use Permit (SUP) the expansion of an existing Mini-Warehouse Facility on a 6.06-acre parcel of land identified as Lot 1, Block C, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1280 E. Ralph Hall Parkway, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 13, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-021: Specific Use Permit for Expansion of an Existing Mini-Warehouse Facility

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



CATHY STROTHER
VOL. 421, PG. 68
D.R.R.C.T.

Architectural Site Demo Plan
Scale: 1/8"=1'-0"
Actual Plan

Building Information

OWNER:
Jim Vaudagna
The Vault Self Storage
1280 E. Ralph Hall Parkway
Rockwall, Texas 75087

Jurisdiction of Project

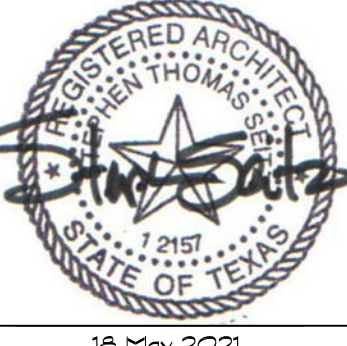
REGULATORY AUTHORITIES:
City of Rockwall, Texas
385 South Goliad Street
Rockwall, Texas 75087
(972) 771-7700

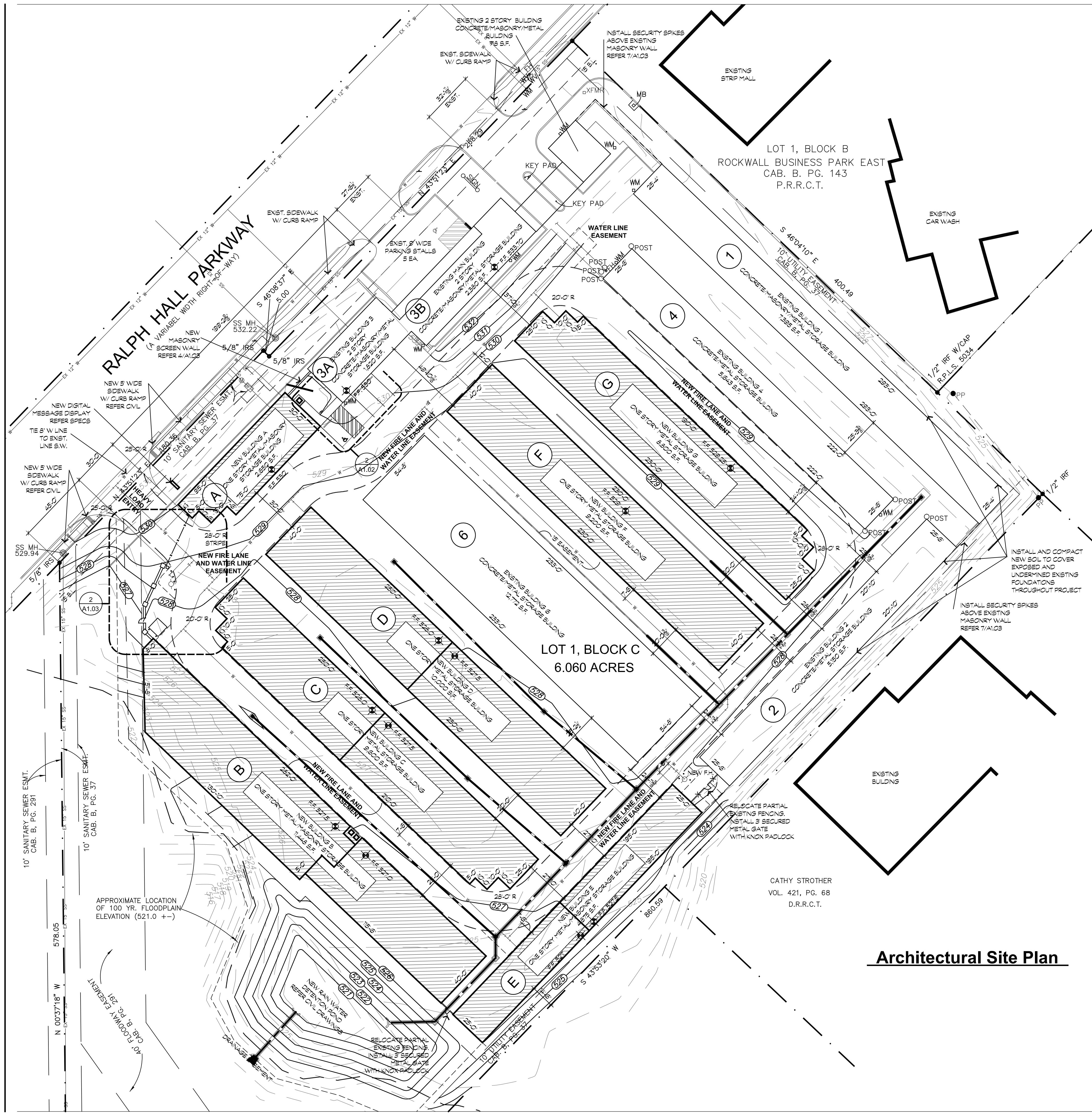
Texas Department of Licensing and Regulation
Elimination of Architectural Barriers
E.O. Thompson State Office Building
920 Colorado
Austin, Texas 78701
(512) 463-3211
(512) 475-2886 (FAX)

BUILDING DESIGN CODE:
2015 International Building Code with local amendments
2015 International Plumbing Code with local amendments
2015 International Fuel Gas Code with local amendments
2015 International Mechanical Code with local amendments
2015 International Energy Conservation Code with local Amendments
2015 International Existing Building Code with local amendments
2014 National Electrical Code with local amendments

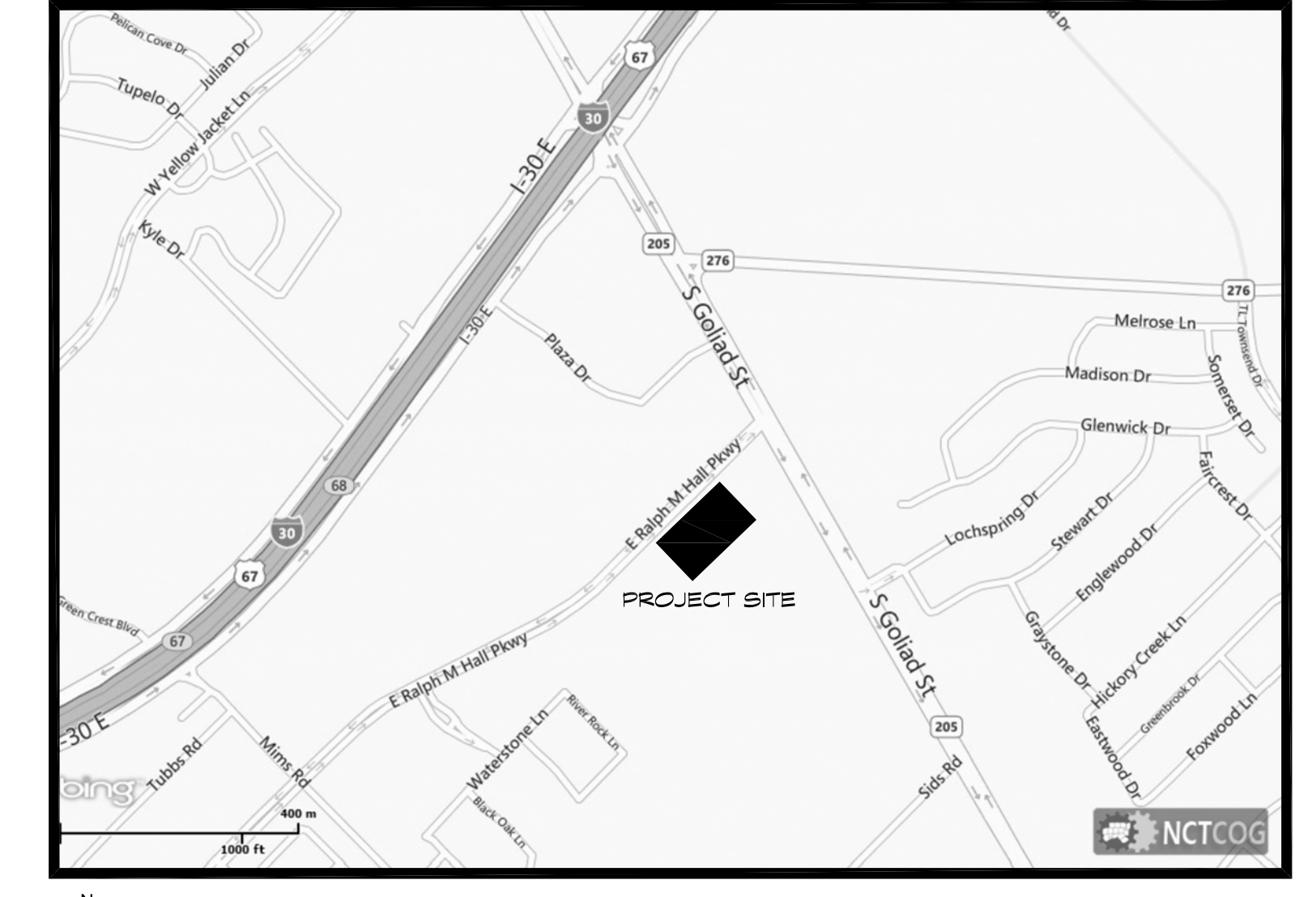
Property Information

LEGAL DESCRIPTION:
Lot 1 - Block C, Rockwall Business Park East, Cab. B, SL, 37, P.R.R.C.T.
City of Rockwall, Rockwall County, Texas
LOT AREA:
263,974 SF (6.06 ACRES)
ZONING: C - COMMERCIAL
LAND USE: MIN. WAREHOUSE
SUP: CASE NUMBER TBD





Architectural Site Plan



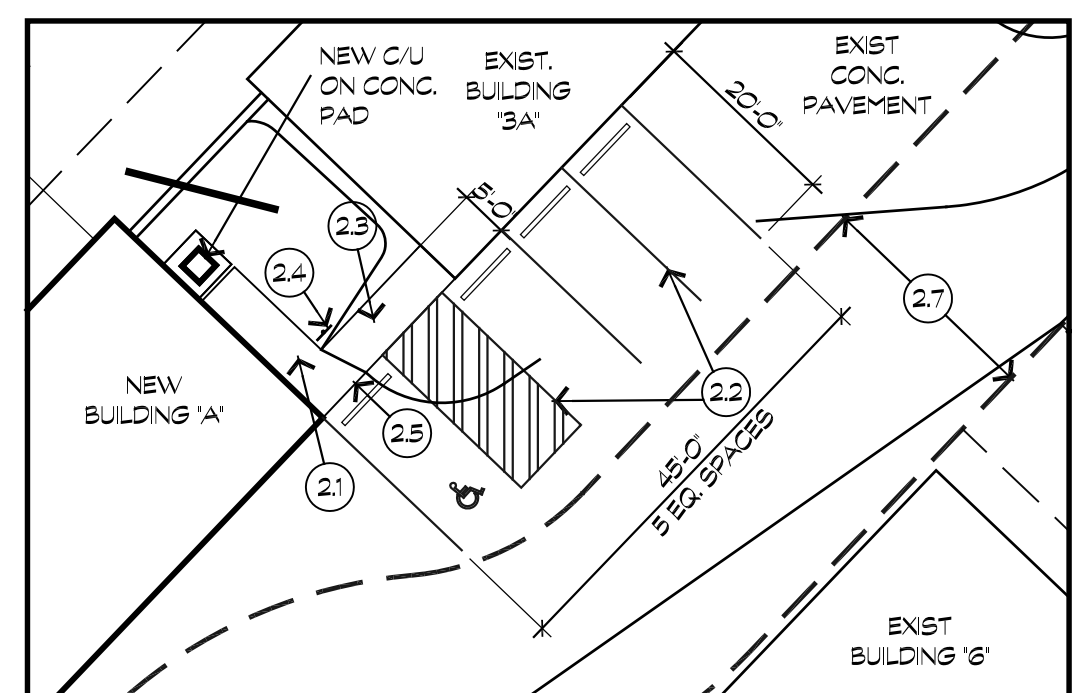
Vicinity Map

Key Notes

- 1 SITE WORK
- 2 4" WIDE CONC. WALK
- 3 4" WIDE PAVEMENT MARKINGS
- 4 ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 7/A1.03
- 5 HANDICAP SIGN/REFER CIVIL REFER 7/A1.03
- 6 CONCRETE CURB, REFER CIVIL
- 7 CITY GIF ROCKWALL COMPLIANT FIRE LANE STRIPING
- 8 POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD

General Notes:

1) NEW MASONRY SCREEN SHALL HAVE PLASTERS AT MAX 1/8" O.C. SEE DETAILS ON SHEET A1.03



Enlarged Site Plan

Building Information

OWNER:
Jim Vaudagna
The Vault Self Storage
1280 E. Ralph Hall Parkway
Rockwall, Texas 75087

Jurisdiction of Project

REGULATORY AUTHORITIES:

City of Rockwall, Texas
385 South Goliad Street
Rockwall, Texas 75087
(972) 771-7700

Texas Department of Licensing and Regulation
Elimination of Architectural Barriers
E.O. Thompson State Office Building
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BUILDING DESIGN CODE:
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2015 International Plumbing Code with local amendments
2015 International Fuel Gas Code with local amendments
2015 International Mechanical Code with local amendments
2015 International Energy Conservation Code with local amendments
2015 International Existing Building Code with local amendments
2014 National Electrical Code with local amendments

Local Amendments & NCTCOG Amendments

Property Information

LEGAL DESCRIPTION:
Lot 1 - Block C, Rockwall Business Park East, Cab. B, SL. 37, P.R.R.C.T.
City of Rockwall, Rockwall County, Texas

LOT AREA:
263,974 SF (6.06 ACRES)

ZONING: C - COMMERCIAL

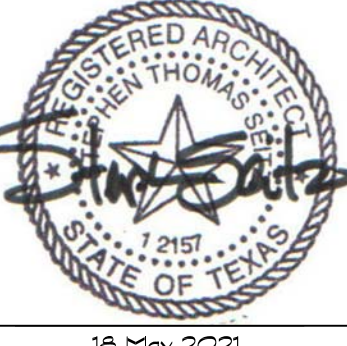
LAND USE: MINI-WAREHOUSE
SUP: CASE NUMBER TBD

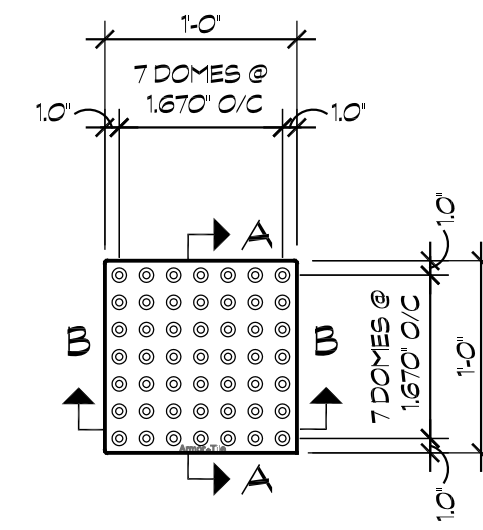
Site Parking

See 6.5. Off-street parking requirements:
Mini-warehouse: 3 spaces plus 1 for each 100.
568 / 100 = 5.7 - 6 + 3 = 9
Provided: 7 existing + 4 new = 9 total

Drawing Index

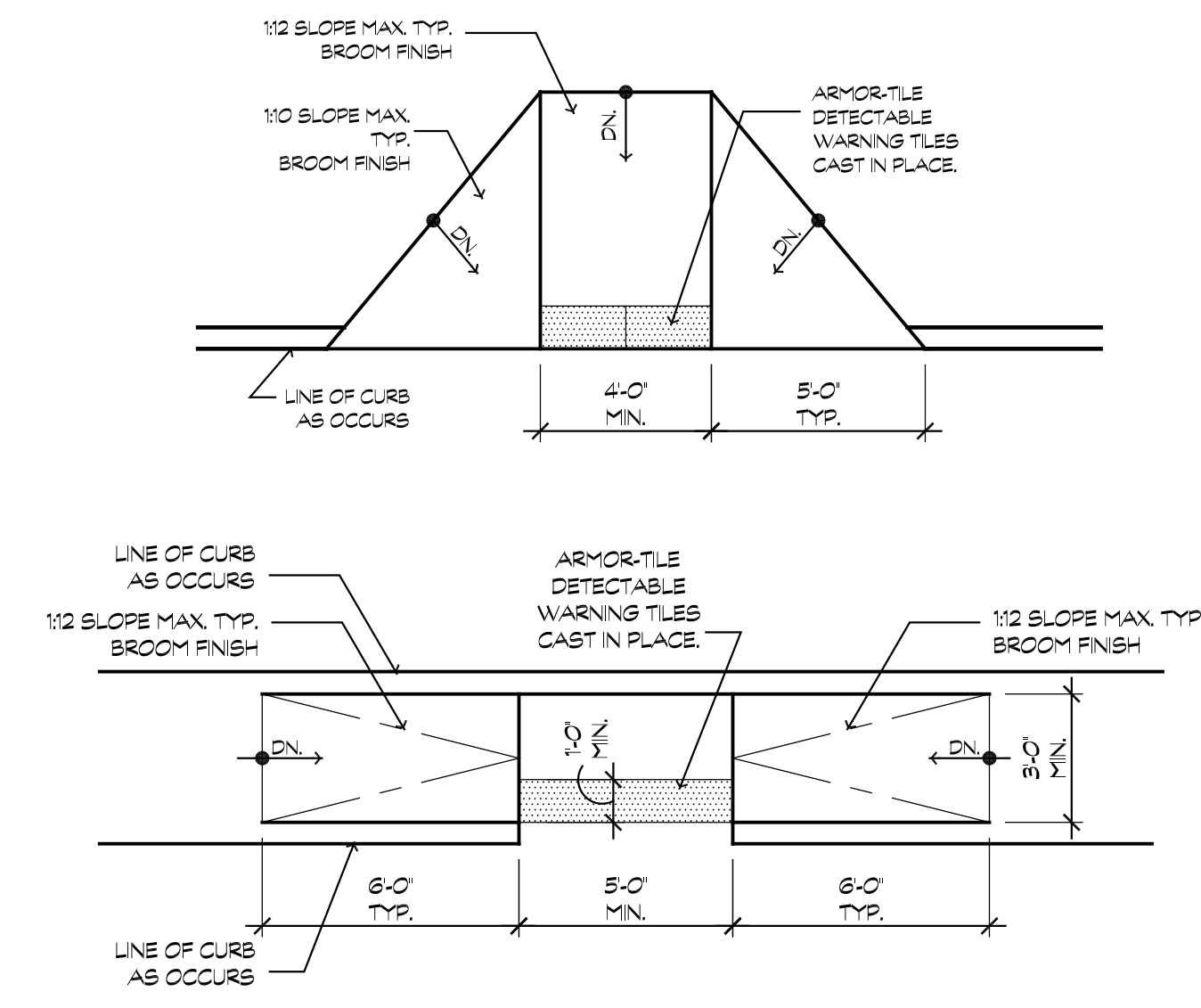
	SHEET ISSUED
	DATE ISSUED
	LATEST REVISION NUMBER
01/01/00	XX
5.18.21	A1.02 COVER SHEET / SITE PLAN
5.18.21	A3.01 BUILDING 'A' ELEVATIONS
5.18.21	A3.02 BUILDING 'B' ELEVATIONS
5.18.21	A3.03 BUILDING 'C' ELEVATIONS
5.18.21	A3.04 BUILDING 'D' ELEVATIONS
5.18.21	A3.05 BUILDING 'E' ELEVATIONS
5.18.21	A3.06 BUILDING 'F' ELEVATIONS
5.18.21	A3.07 BUILDING 'G' ELEVATIONS



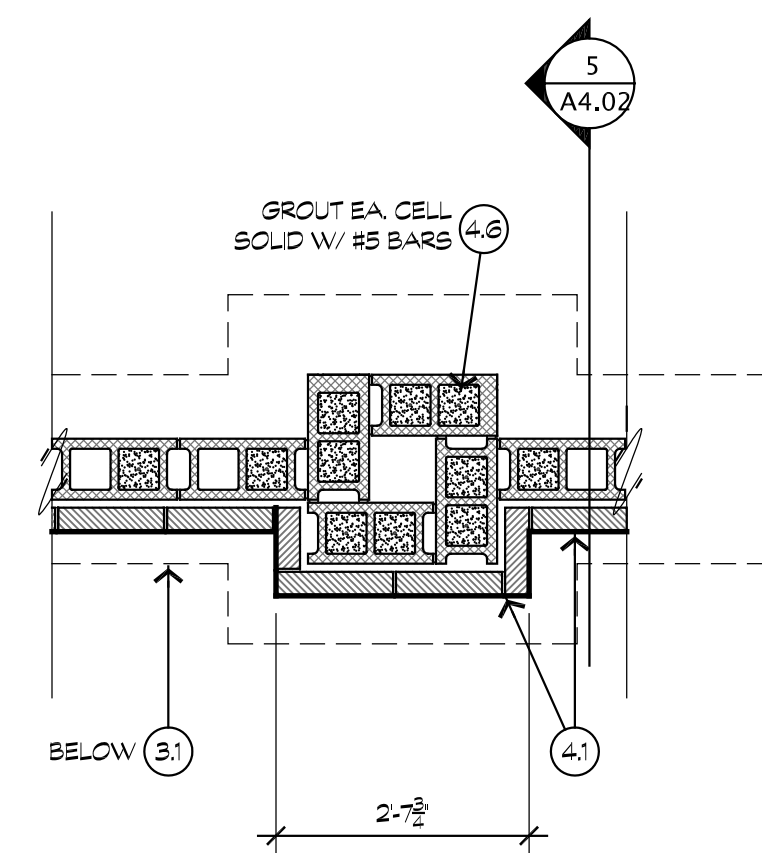


Armor-Tile
Tactile Systems
By: ENGINEERED PLASTICS, INC.
330 INTERNATIONAL DR., SUITE 100
WILKINSON, NY
USA 14221
1.800.862.6255
www.armor-tile.com

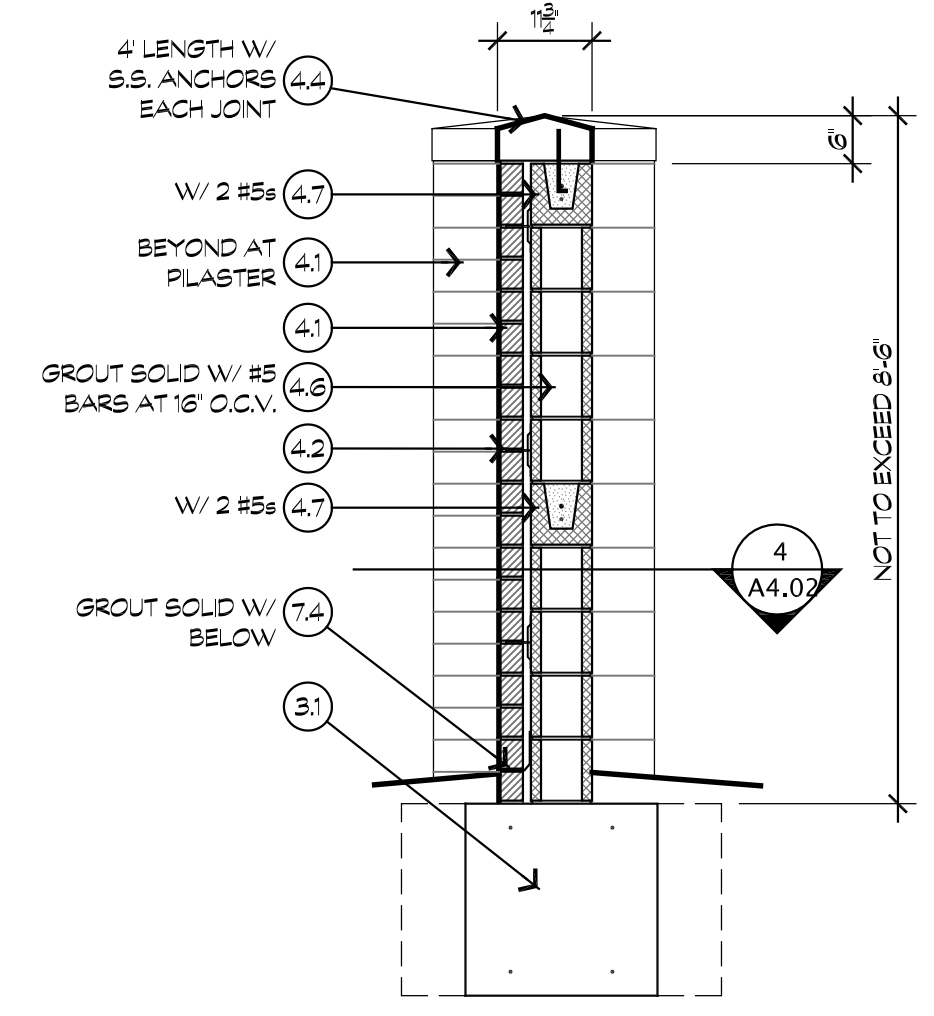
- NOTES:**
1. CAST IN PLACE INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. DO NOT SCALE DRAWINGS.
 2. FOR CUSTOM SIZING CONTACT MANUFACTURER.



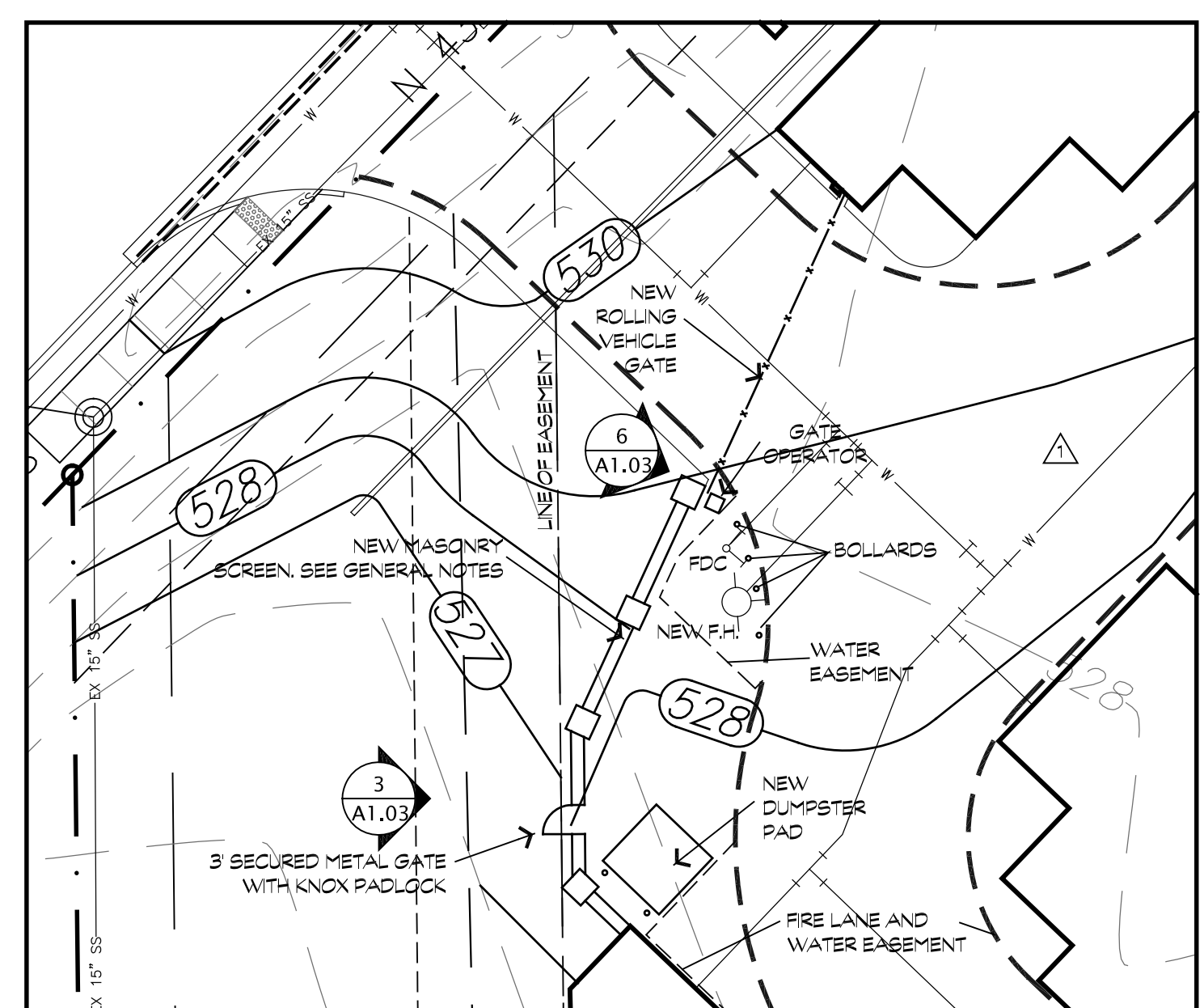
1
A1.03
Scale: 1/4" = 1'-0"



5
A1.03
Scale: 1/2" = 1'-0"

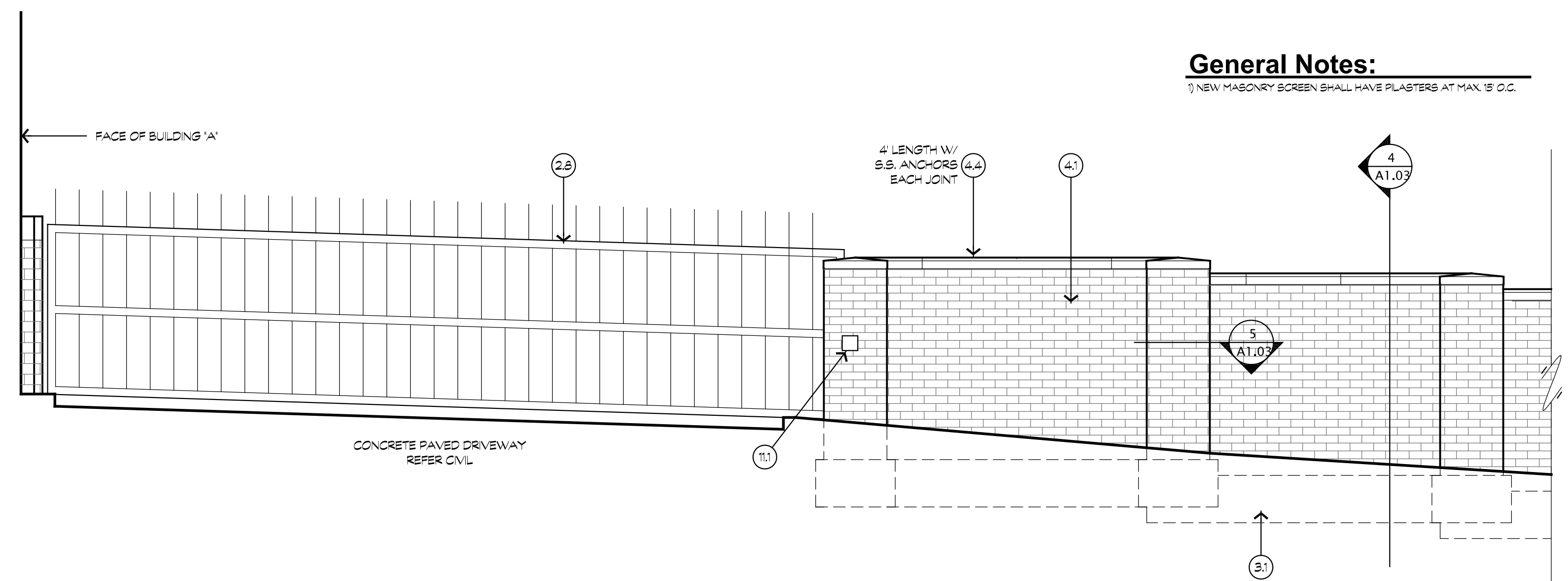


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A1.03
Scale: 1/2" = 1'-0"

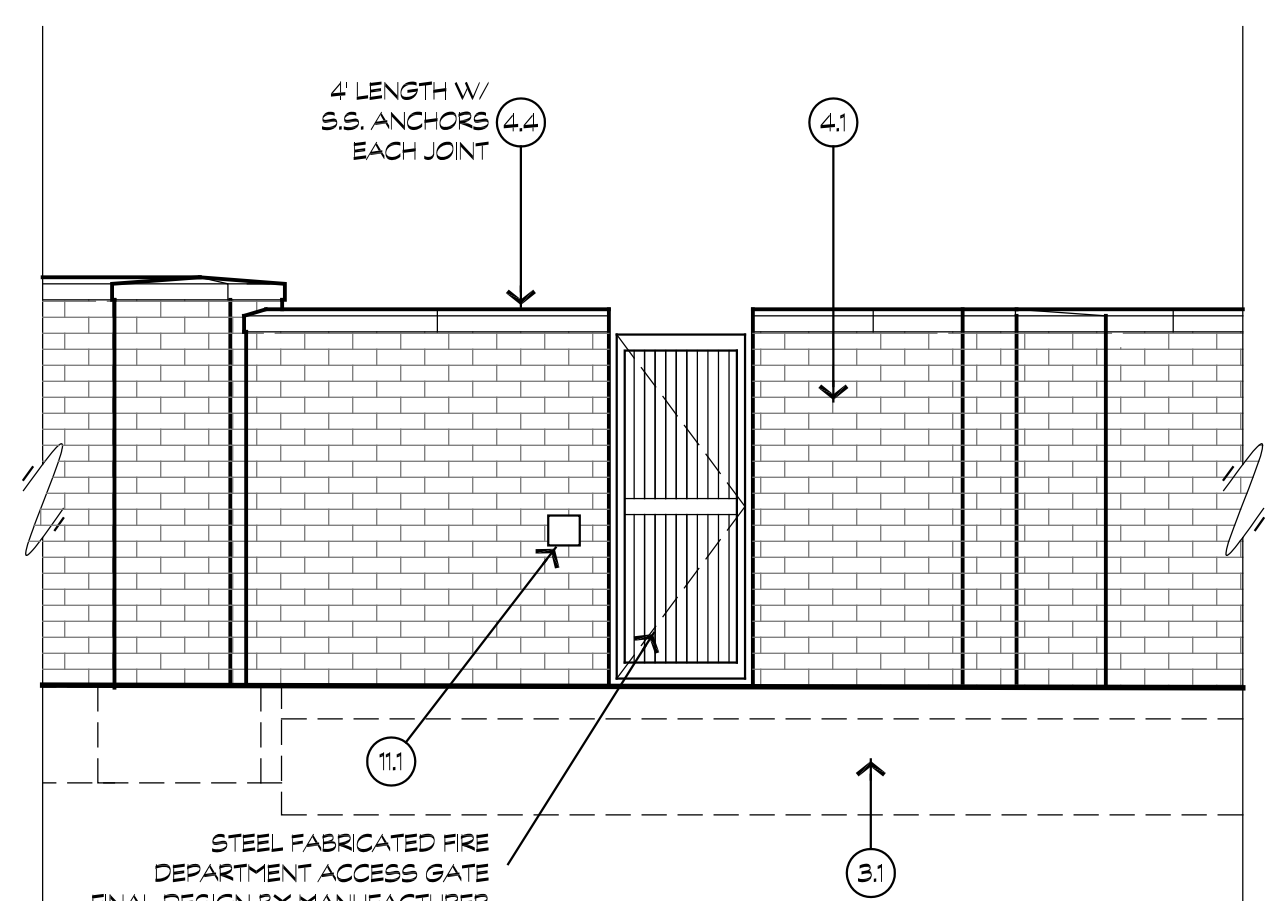


2
A1.03
Scale: 1/16" = 1'-0"
Actual

General Notes:
1) NEW MASONRY SCREEN SHALL HAVE PLASTERS AT MAX. 18" O.C.



6
A1.03
Scale: 1/4" = 1'-0"



3
A1.03
Scale: 1/4" = 1'-0"

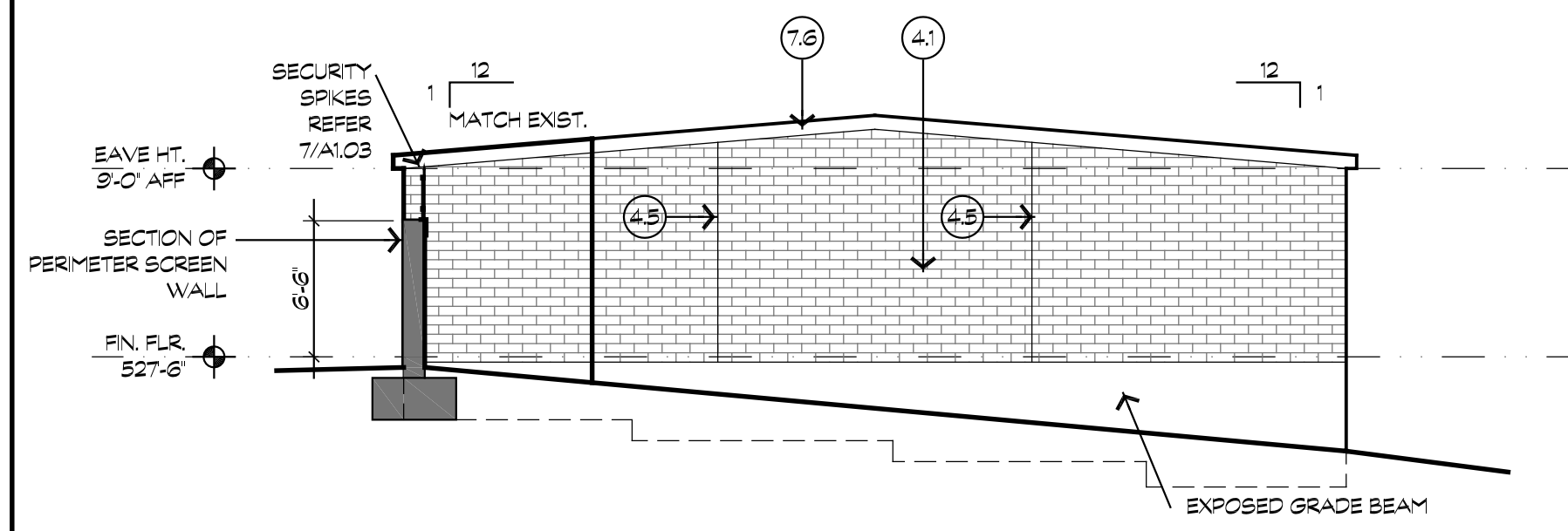
Key Notes

- NOTE:**
REFER SHEET A0.00 FOR MATERIALS LEGEND
1. GENERAL REQUIREMENTS - NOT USED
 2. SITE WORK
 3. 4" THK. CONC. WALK
 4. 4" WIDE PAVEMENT MARKINGS
 5. ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 1/A1.03
 6. HANDICAP SIGN, REFER CIVL
 7. 6" CONCRETE CURB, REFER CIVL
 8. LANDSCAPING, REFER LANDSCAPE PLAN
 9. CITY OF ROCKWALL COMPLIANT FIRE LANE STRIPING
 10. POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD
 11. CONCRETE FOUNDATION, REFER STRUCTURAL
 12. PRE-FABRICATED CONCRETE SPLASH BLOCK
 13. MASONRY
 14. BRICK SHAPE TO MATCH EXIST., PAINT TO MATCH
 15. ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS
 16. 1" MORTAR SCREEN
 17. CAST STONE CAP
 18. MASONRY CONTROL JOINT: 15'-0" MAX SPACING
 19. 8" CMU
 20. 8" CMU BOND BEAM
 21. METALS
 22. NOT USED
 23. MISC. METAL, SIZE AS INDICATED
 24. CONCRETE FILLED STEEL BOLLARD, REFER 5/A2.01
 25. WOODS & PLASTICS
 26. 1" ROOF DECKING
 27. THERMAL AND MOISTURE PROTECTION
 28. CONT. 26 GA. GALV. METAL FLASHING
 29. VINYL FACED THERMAL BATT INSULATION AS NOTED
 30. AIR SPACE
 31. CONT. 24 GA. GALV. FLASHING W/ WEEP HOLES @ 18" O.C.
 32. SEALANT AND BACKER ROD
 33. 10 MIL. VAPOR BARRIER
 34. PRE FINISHED 26 GA. RAIN GUTTER AND DOWNSPOUTS
 35. EXTERIOR INSULATED FINISH SYSTEM (EIFS)
 36. H30 FELT
 37. CLAY SPANISH TILE TO MATCH EXIST.
 38. DOORS AND WINDOWS
 39. FRAME & DOOR, REFER DOOR TYPES
 40. ROLL-UP OVER HEAD DOOR, REFER DOOR TYPES
 41. FINISHES
 42. PARTITION PANEL METAL STUD BY MTL. BLDG. MANUF.
 43. 1/2" GYPSUM BOARD
 44. FIBERGLASS REINFORCED PLASTIC
 45. SPECIALTIES - NOT USED
 46. EQUIPMENT
 47. FIRE DEPARTMENT KEY LOCK BOX
 48. FURNISHINGS - NOT USED
 49. SPECIAL CONSTRUCTION
 50. WIRE-ENGINEERED METAL BUILDING FRAME BY MTL. BLDG. MFR.
 51. PRE-FINISHED INTERIOR METAL WALL PANEL BY MTL. BLDG. MFR.
 52. LIGHT GAGE SECONDARY FRAMING BY MTL. BLDG. MFR.
 53. STANDING SEAM METAL ROOFING BY MTL. BLD. MANUF.
 54. PRE-FINISHED METAL WALL PANEL BY MTL. BLD. MANUF.
 55. PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF.
 56. PRE-FINISHED INTERIOR METAL PARTITION PANEL BY MTL. BLDG. MANUF.
 57. PRE-FINISHED METAL SOFFIT/CEILING PANEL BY MTL. BLDG. MANUF.
 58. CONVEYING SYSTEMS - NOT USED
 59. MECHANICAL
 60. PLUMBING FIXTURE, REFER PLUMBING
 61. ELECTRICAL
 62. LIGHT FIXTURE, REFER TO ELECTRICAL

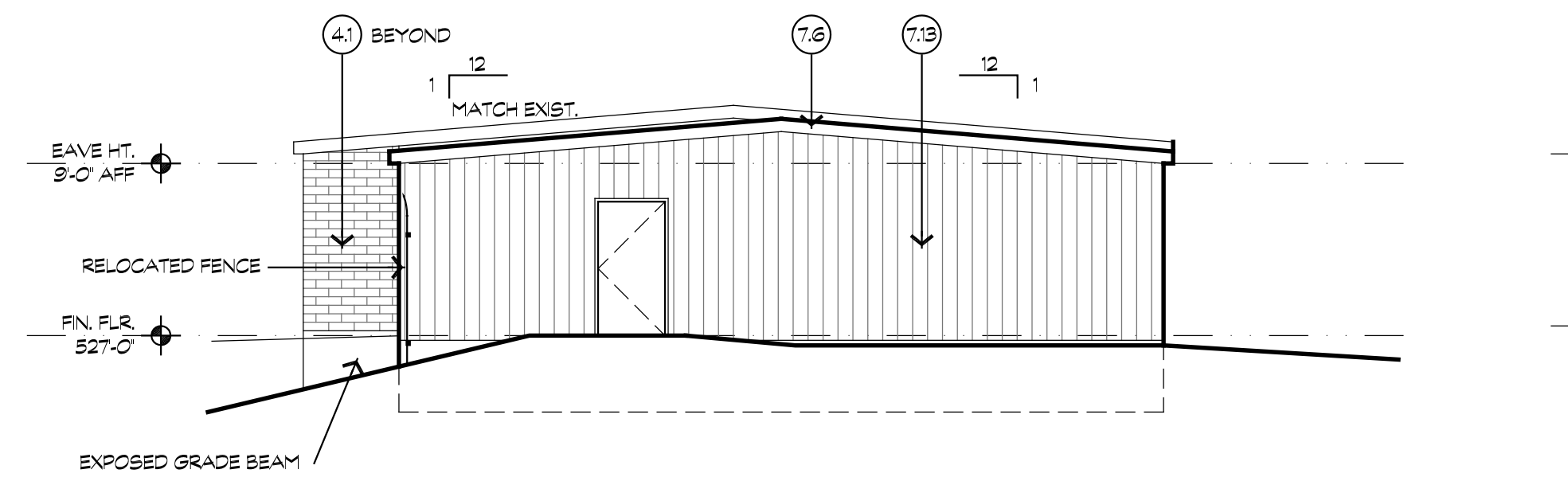


file #	21-004 9the
project #	21-004
date	16 May 2021
revisions	

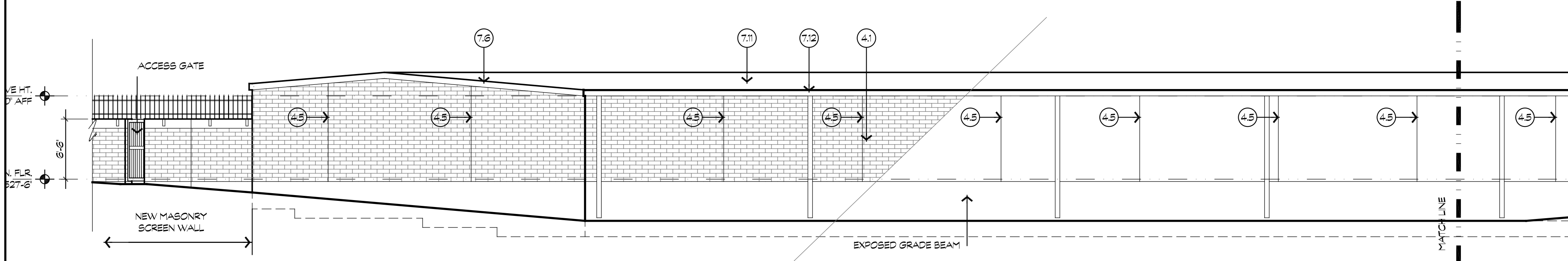
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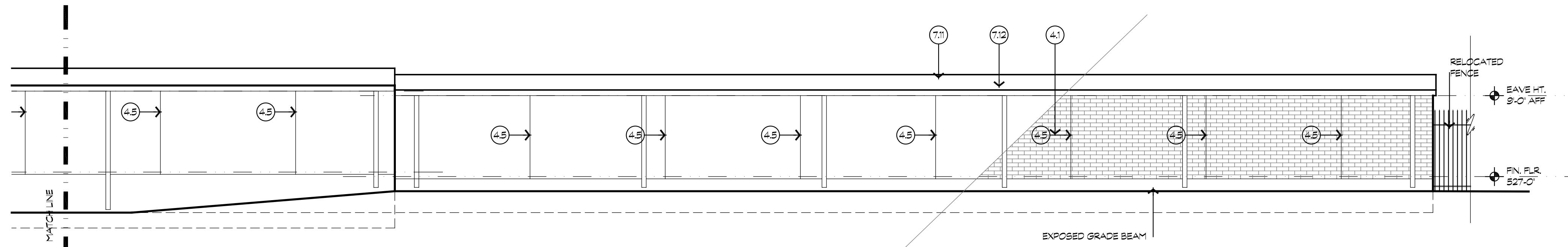
1 Bldg. "B" North Elevation
 A3.02 Scale: 1/8"=1'-0"



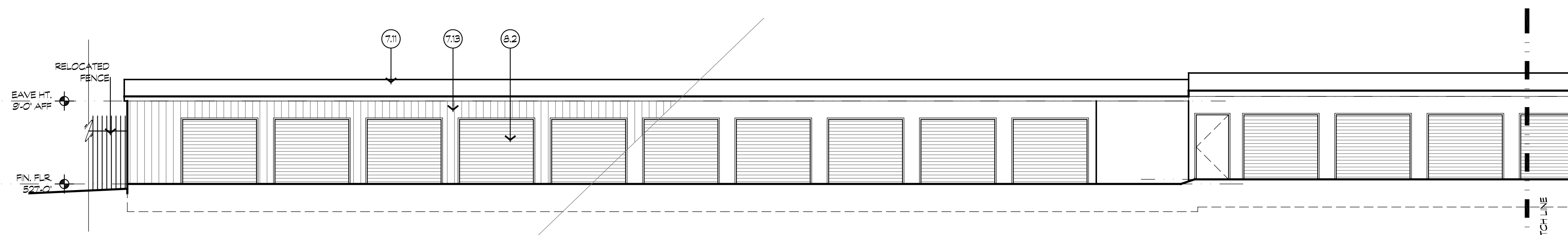
2 Bldg. "B" South Elevation
 A3.02 Scale: 1/8"=1'-0"



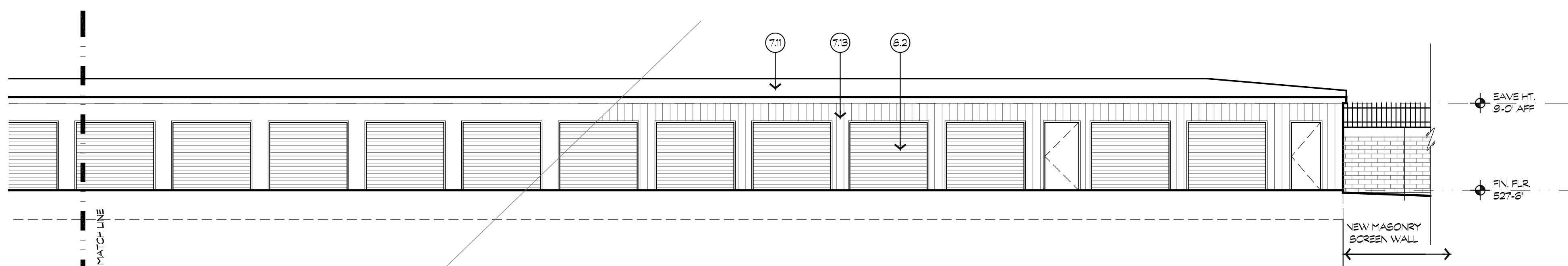
3 Bldg. "B" West Elevation
 A3.02 Scale: 1/8"=1'-0"



4 Bldg. "B" West Elevation
 A3.02 Scale: 1/8"=1'-0"



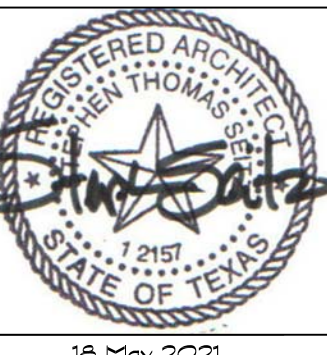
4 Bldg. "B" East Elevation
 A3.02 Scale: 1/8"=1'-0"



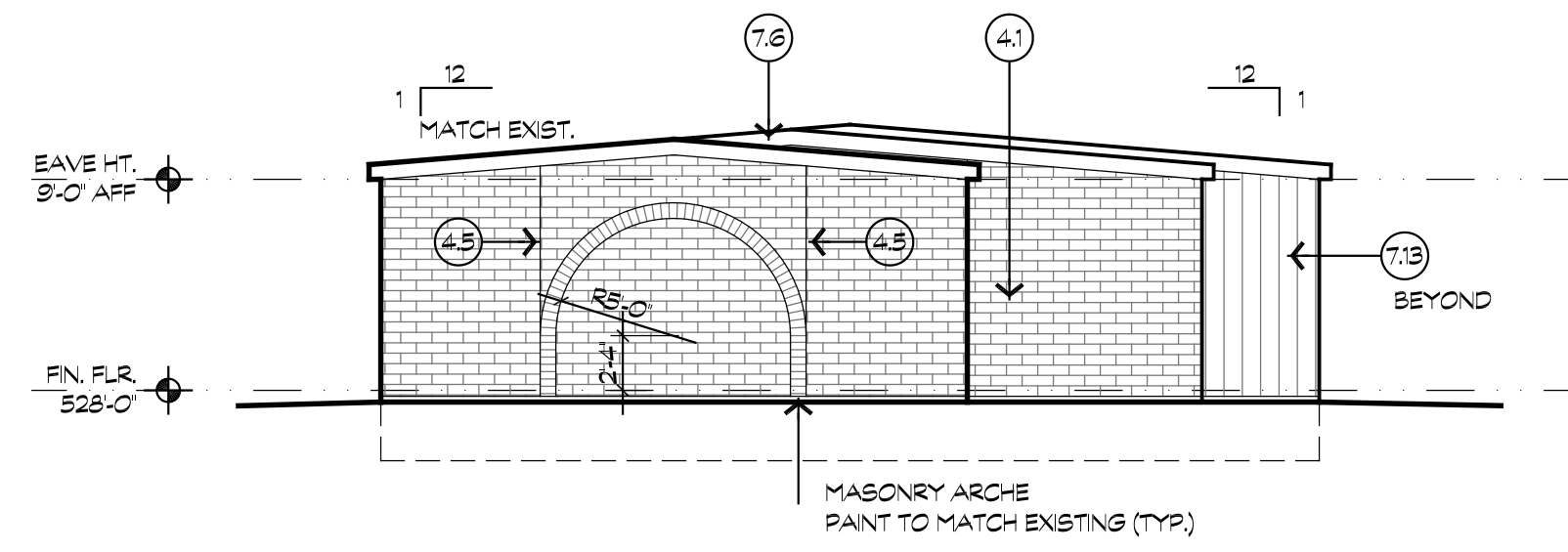
4 Bldg. "B" East Elevation
 A3.02 Scale: 1/8"=1'-0"

Key Notes

- NOTE:
 REFER SHEET A0.00 FOR MATERIALS LEGEND
- 1 GENERAL REQUIREMENTS-NOT USED
 - 2 SITE WORK
 - 3 4" THK CONC. WALK
 - 4 ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 1A1.03
 - 5 HANDICAP SIGN, REFER CIVIL
 - 6 CONCRETE CURB, REFER CIVIL
 - 7 LANDSCAPING, REFER LANDSCAPE PLAN
 - 8 CITY OF ROCKWALL COMPLIANT FIRE LANE STRIPING
 - 9 POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD
 - 10 CONCRETE FOUNDATION, REFER STRUCTURAL
 - 11 PRE-FABRICATED CONCRETE SPLASH BLOCK
 - 12 MASONRY
 - 13 BASIC SHAPE TO MATCH EXIST. PAINT TO MATCH
 - 14 ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS
 - 15 MORTAR SCREEN
 - 16 CAST STONE GAB
 - 17 MASONRY CONTROL JOINT: 15'-0" MAX SPACING
 - 18 8" C/CU
 - 19 C/CU BOND BEAM
 - 20 METALS
 - 21 NOT USED
 - 22 MISC. METAL, SIZE AS INDICATED
 - 23 CONCRETE FILLED STEEL BOLLARD, REFER 5/A2.01
 - 24 WOODS & PLASTICS
 - 25 T ROOF DECKING
 - 26 THERMAL AND MOISTURE PROTECTION
 - 27 CONT. 26 GA GALV. METAL FLASHING
 - 28 VINYL FACED THERMAL BATT INSULATION AS NOTED
 - 29 AIR SPACE
 - 30 CONT. 24 GA GALV. FLASHING W/ WEEP HOLES @ 24" O.C.
 - 31 SEALANT AND BACKER ROD
 - 32 10 MIL VAPOR BARRIER
 - 33 PRE FINISHED 26 GA. RAIN GUTTER AND DOWNSPOUTS
 - 34 EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.)
 - 35 #30 FELT
 - 36 CLAY SPANISH TILE TO MATCH EXIST
 - 37 DOORS AND WINDOWS
 - 38 FRAME & DOOR, REFER DOOR TYPES
 - 39 ROLL-UP OVER HEAD DOOR, REFER DOOR TYPES
 - 40 FINISHES
 - 41 PARTITION PANEL METAL STUD BY MTL. BLDG. MANUF.
 - 42 GYPSUM BOARD
 - 43 FIBERGLASS REINFORCED PLASTIC
 - 44 SPECIALTIES - NOT USED
 - 45 EQUIPMENT
 - 46 FIRE DEPARTMENT KEY LOCK BOX
 - 47 FURNISHINGS - NOT USED
 - 48 SPECIAL CONSTRUCTION
 - 49 PRE-ENGINEERED METAL BUILDING FRAME BY MTL. BLDG. MFR
 - 50 PRE-FINISHED INTERIOR METAL WALL PANEL BY MTL. BLDG. MFR
 - 51 LIGHT GAGE SECONDARY FRAMING BY MTL. BLDG. MFR
 - 52 STANDING SEAM METAL ROOFING BY MTL. BLD. MANUF.
 - 53 PRE-FINISHED METAL WALL PANEL BY MTL. BLD. MANUF.
 - 54 PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF.
 - 55 PRE-FINISHED INTERIOR METAL PARTITION PANEL BY MTL. BLDG. MANUF.
 - 56 PRE-FINISHED METAL SOFFIT/CEILING PANEL BY MTL. BLDG. MANUF.
 - 57 CONVEYING SYSTEMS - NOT USED
 - 58 MECHANICAL
 - 59 PLUMBING FIXTURE, REFER PLUMBING
 - 60 ELECTRICAL
 - 61 LIGHT FIXTURE, REFER TO ELECTRICAL

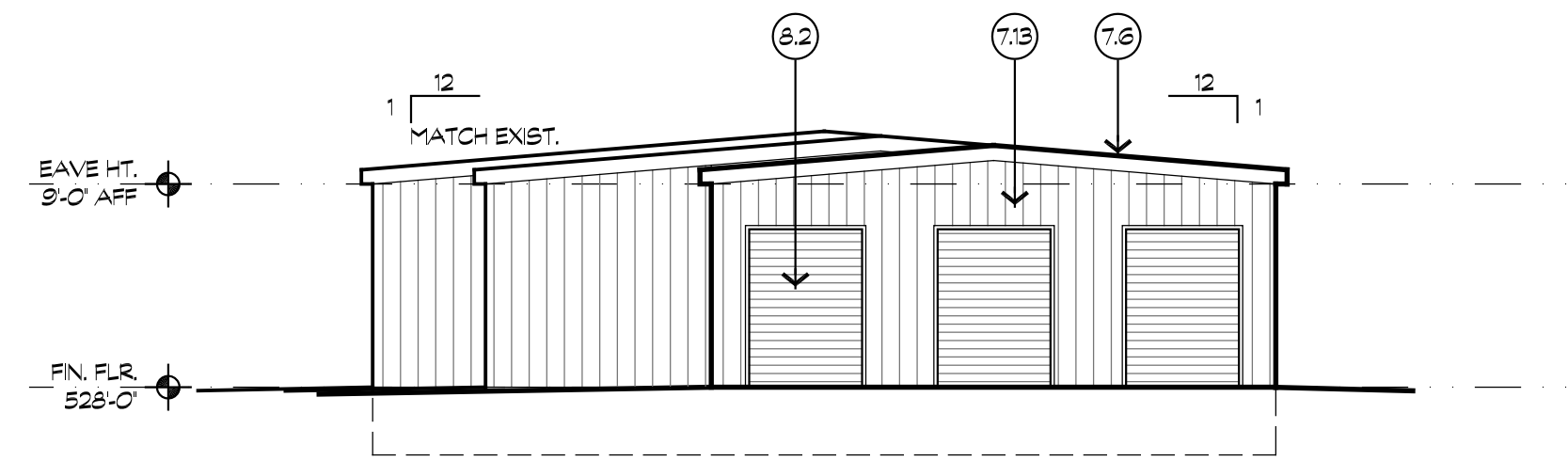


18 May 2021



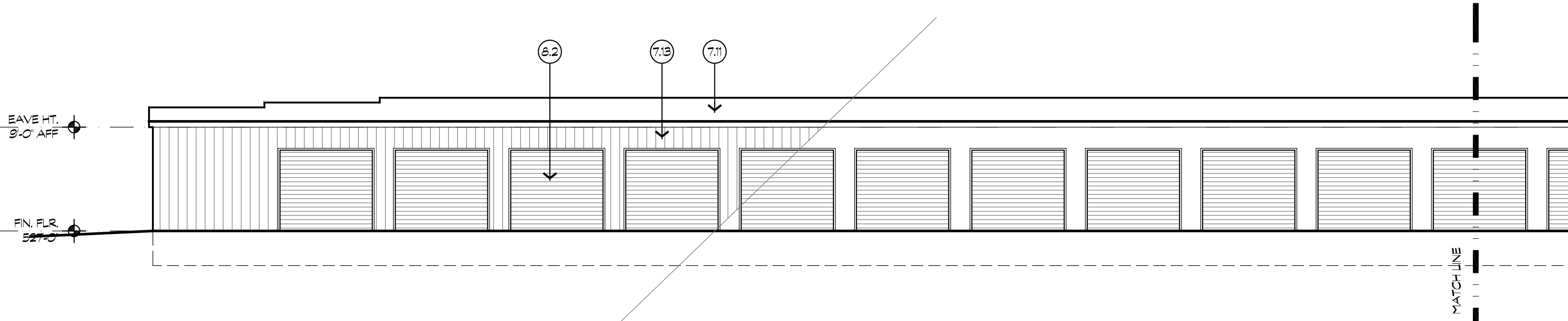
1 Bldg. "C" North Elevation

Scale: 1/8"=1'-0"



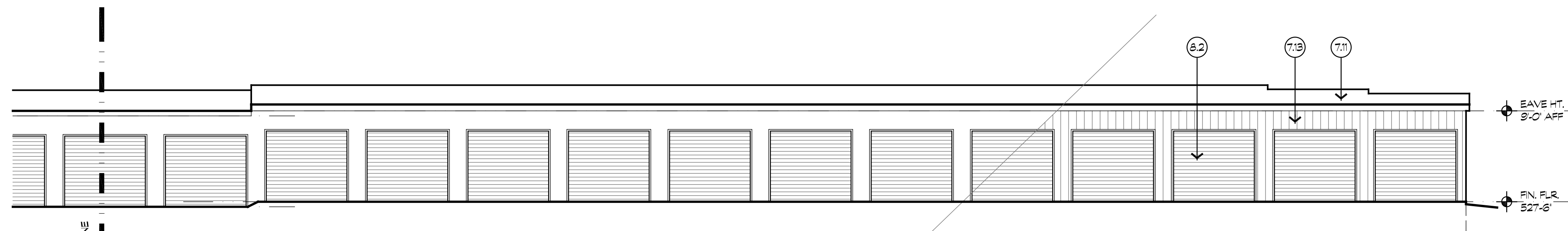
2 Bldg. "C" South Elevation

Scale: 1/8"=1'-0"



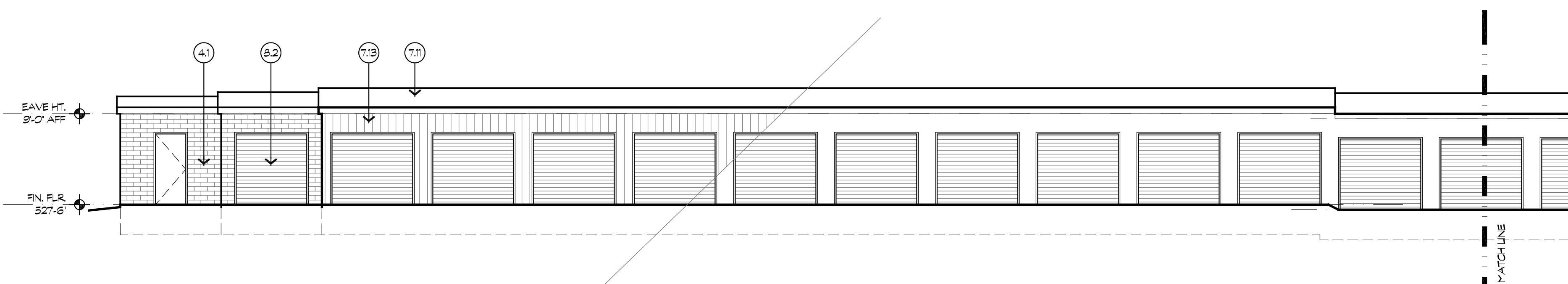
3 Bldg. "C" East Elevation

Scale: 1/8"=1'-0"



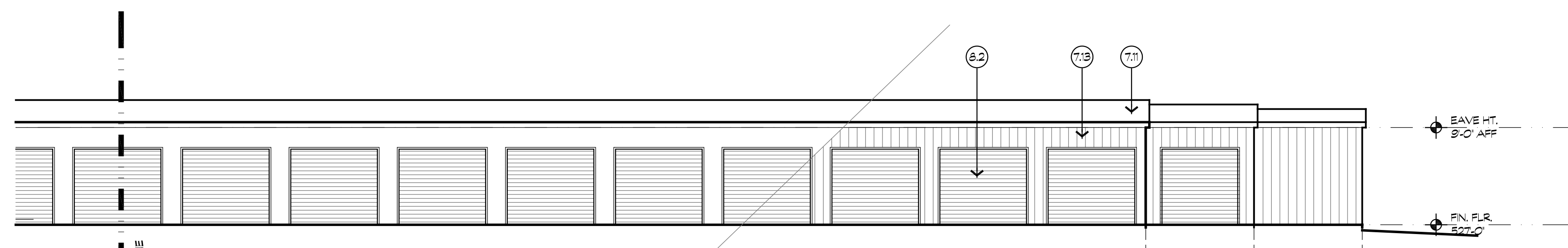
4 Bldg. "C" East Elevation

Scale: 1/8"=1'-0"



5 Bldg. "C" West Elevation

Scale: 1/8"=1'-0"



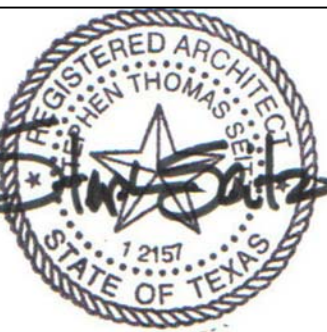
6 Bldg. "C" West Elevation

Scale: 1/8"=1'-0"

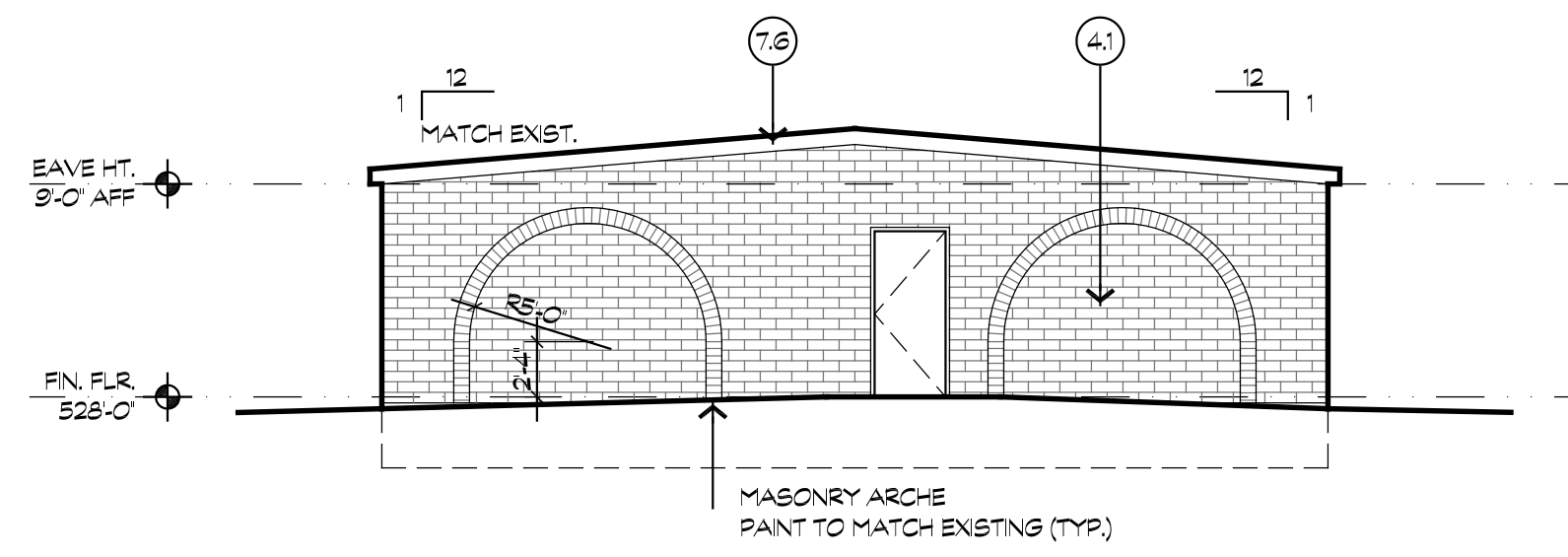
GENERAL NOTES:
1) REFER SHEET A2.01 FOR TYPICAL STEEL LINTEL SIZES AND HEAD FLASHING DETAIL.

Key Notes

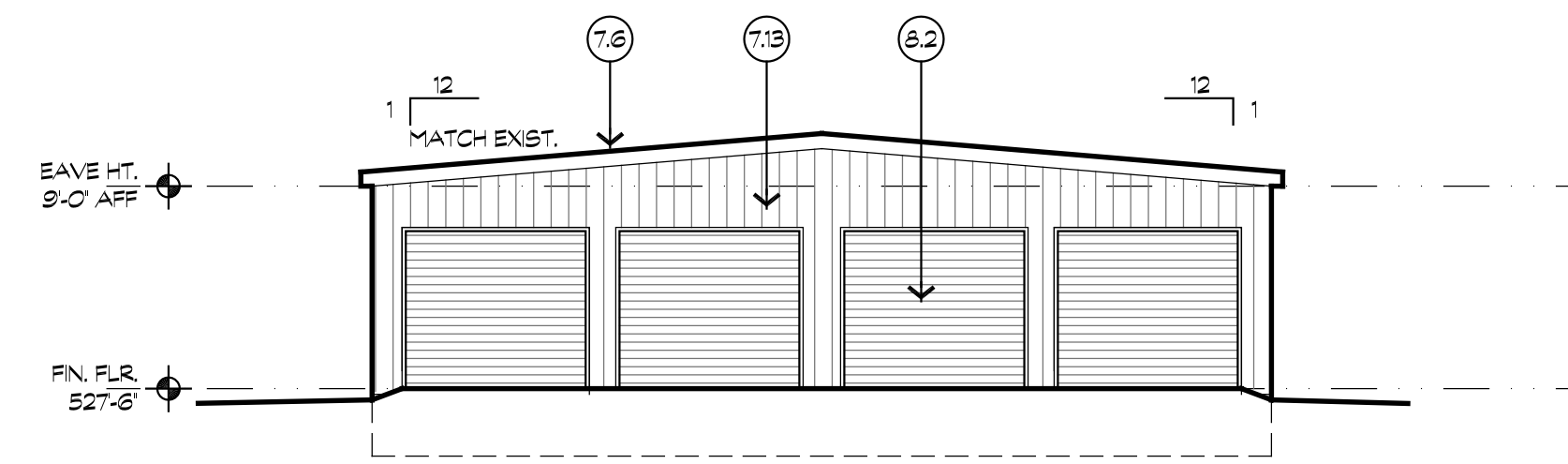
- *NOTE: REFER SHEET A0.00 FOR MATERIALS LEGEND
- 1 GENERAL REQUIREMENTS - NOT USED
 - 2 SITE WORK
 - 2.01 4" THK. CONC. WALK
 - 2.02 4" WIDE PAVEMENT MARKINGS
 - 2.03 ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 1/A1.03
 - 2.04 HANDICAP SIGN - REFER CIVIL
 - 2.05 6" CONCRETE CURB - REFER CIVIL
 - 2.06 LANDSCAPING - REFER LANDSCAPE PLAN
 - 2.07 CITY OF ROCKWALL COMPLIANT FIRE LANE STRIPING
 - 2.08 POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD
 - 3 CONCRETE
 - 3.01 CONCRETE FOUNDATION, REFER STRUCTURAL
 - 3.02 PRE-FABRICATED CONCRETE SPLASH BLOCK
 - 4 MASONRY
 - 4.1 BRICK SHAPE TO MATCH EXIST. PAINT TO MATCH
 - 4.2 ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS
 - 4.3 MOSTAR SCREEN
 - 4.4 CAST STONE CAP
 - 4.6 MASONRY CONTROL JOINT: 15'-0" MAX SPACING
 - 4.6.01 8" CMU
 - 4.7 8" CMU BOND BEAM
 - 5 METALS
 - 5.01 NOT USED
 - 5.02 MISC. METAL SIZE AS INDICATED
 - 5.03 CONCRETE FILLED STEEL BOLLARD, REFER 5/A2.01
 - 6 WOODS & PLASTICS
 - 6.1 1" ROOF DECKING
 - 7 THERMAL AND MOISTURE PROTECTION
 - 7.1 CONT. 26 GA. GALV. METAL FLASHING
 - 7.2 VINYL FACED THERMAL BATT INSULATION AS NOTED
 - 7.3 AIR SPACE
 - 7.4 CONT. 24 GA. GALV. FLASHING W/ WEEP HOLES @ 2'-0" O.C.
 - 7.5 SEALANT AND BACKER ROD
 - 7.6 10 MIL VAPOR BARRIER
 - 7.7 PRE-FINISHED 8 GA. RAIN GUTTER AND DOWNSPOUTS
 - 7.8 EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.)
 - 7.9 850 FEL
 - 7.10 CLAY SPANISH TILE TO MATCH EXIST
 - 8 DOORS AND WINDOWS
 - 8.01 FRAME & DOOR, REFER DOOR TYPES
 - 8.2 ROLL-UP OVER HEAD DOOR, REFER DOOR TYPES
 - 9 FINISHES
 - 9.01 PARTITION PANEL METAL STUD BY MTL. BLDG. MANUF.
 - 9.2 1/2" GYPSUM BOARD
 - 9.3 FIBERGLASS REINFORCED PLASTIC
 - 10 SPECIALTIES - NOT USED
 - 11 EQUIPMENT
 - 11.1 FIRE DEPARTMENT KEY LOCK BOX
 - 12 FURNISHINGS - NOT USED
 - 13 SPECIAL CONSTRUCTION
 - 13.1 PRE-ENGINEERED METAL BUILDING FRAME BY MTL. BLDG. MANUF.
 - 13.2 PRE-FINISHED INTERIOR METAL WALL PANEL BY MTL. BLDG. MANUF.
 - 13.3 LIGHT GAGE SECONDARY FRAMING BY MTL. BLDG. MANUF.
 - 13.4 STANDING SEAM METAL ROOFING BY MTL. BLD. MANUF.
 - 13.5 PRE-FINISHED METAL WALL PANEL BY MTL. BLD. MANUF.
 - 13.6 PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF.
 - 13.7 PRE-FINISHED INTERIOR METAL PARTITION PANEL BY MTL. BLDG. MANUF.
 - 13.8 PRE-FINISHED METAL SOFFIT/CEILING PANEL BY MTL. BLDG. MANUF.
 - 14 CONVEYING SYSTEMS - NOT USED
 - 15 MECHANICAL
 - 15.1 PLUMBING FIXTURE, REFER PLUMBING
 - 16 ELECTRICAL
 - 16.1 LIGHT FIXTURE, REFER TO ELECTRICAL



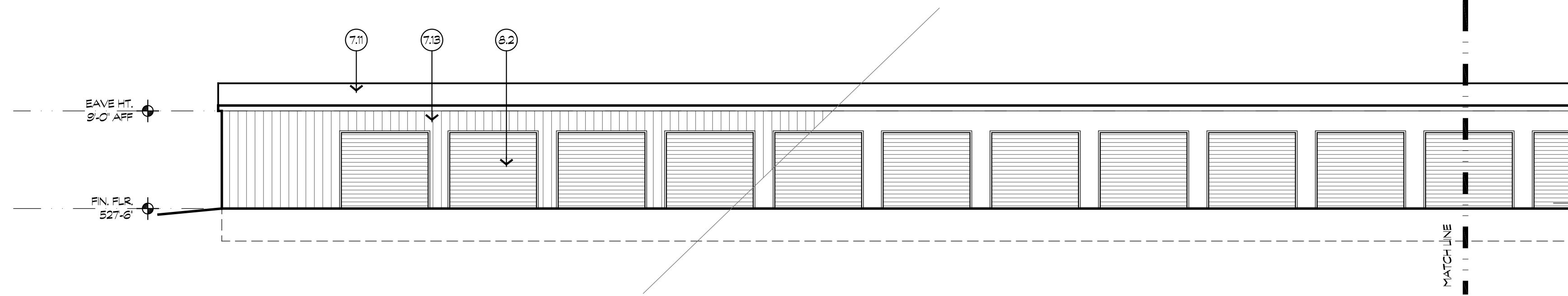
18 May 2021



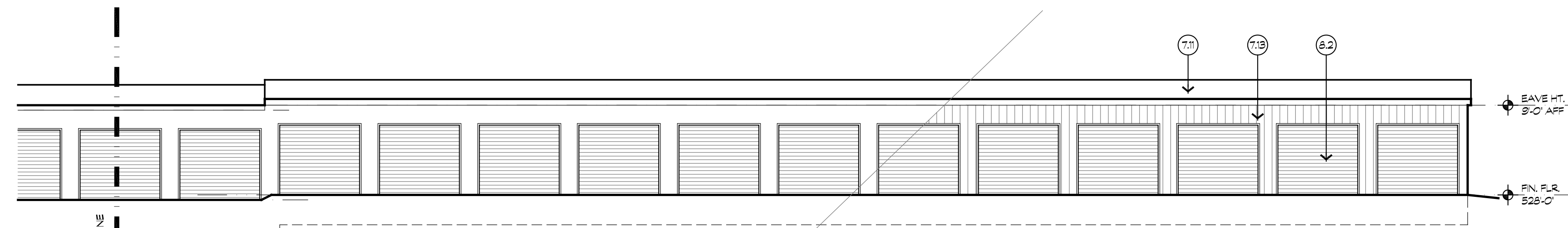
1 **Bldg. "D" North Elevation**
Scale: 1/8"=1'-0"



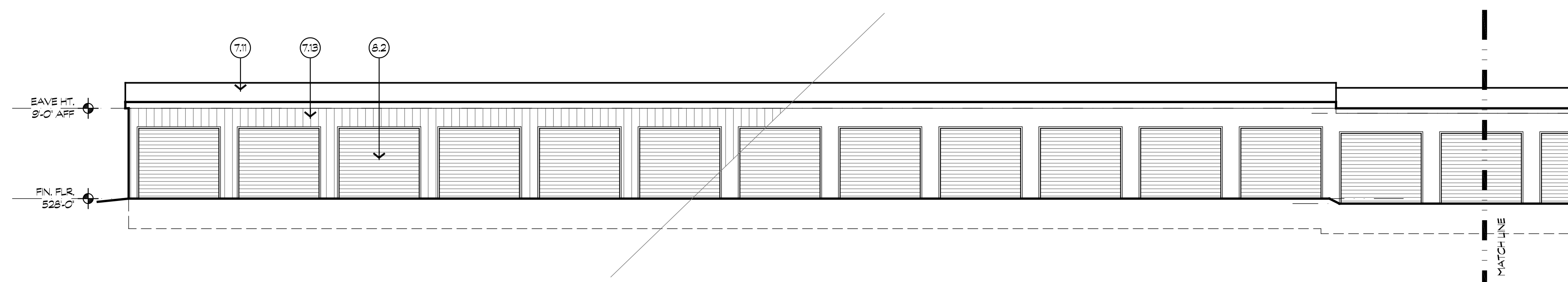
2 **Bldg. "D" South Elevation**
Scale: 1/8"=1'-0"



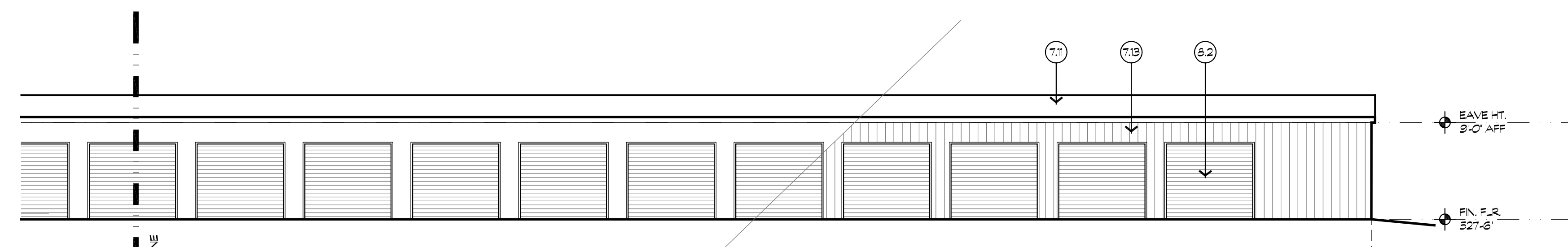
3 **Bldg. "D" East Elevation**
Scale: 1/8"=1'-0"



4 **Bldg. "D" East Elevation**
Scale: 1/8"=1'-0"



5 **Bldg. "D" West Elevation**
Scale: 1/8"=1'-0"

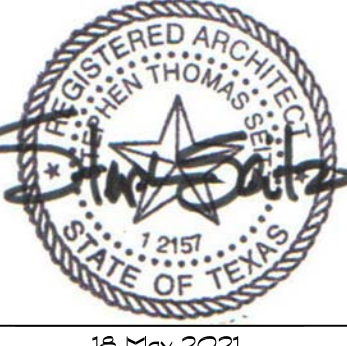


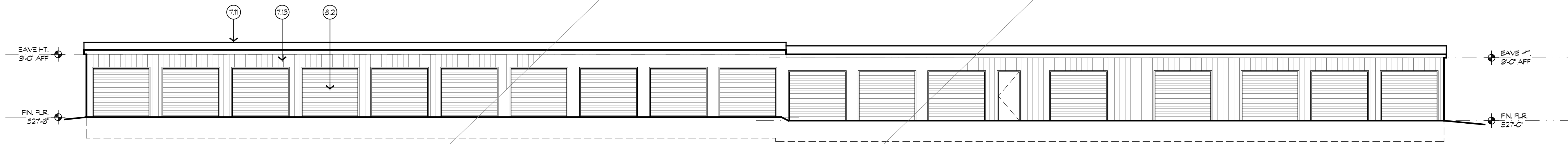
6 **Bldg. "D" West Elevation**
Scale: 1/8"=1'-0"

GENERAL NOTES:
1) REFER SHEET A2.01 FOR TYPICAL STEEL Lintel SIZES AND HEAD FLASHING DETAIL.

Key Notes

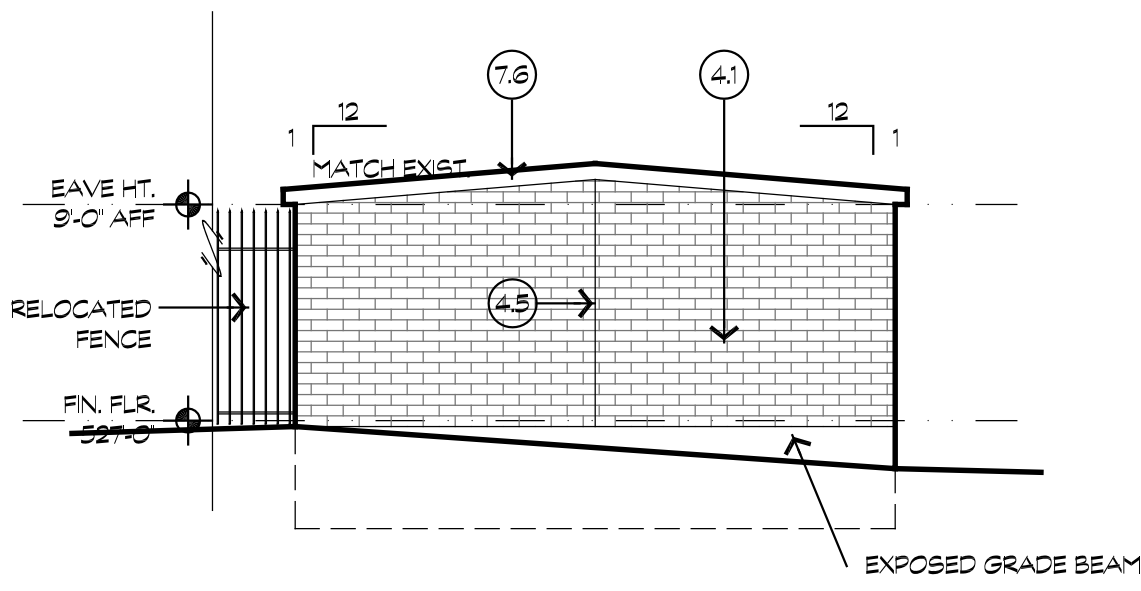
- 7 NOTE: REFER SHEET A0.00 FOR MATERIALS LEGEND
- 1 GENERAL REQUIREMENTS-NOT USED
- 2 SITE WORK
- 3 4" THK. CONC. WALK
- 4 WIDE PAVEMENT MARKINGS
- 5 ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 1/A1.03
- 6 HANDICAP SIGN-REFER CIVIL MANUF.
- 7 6" CONCRETE CURS, REFER CIVIL
- 8 LANDSCAPING, REFER LANDSCAPE PLAN
- 9 CITY OF ROCKWALL COMPLIANT FIRE LANE STRIPING
- 10 POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD
- 11 CONCRETE
- 12 CONCRETE FOUNDATION, REFER STRUCTURAL
- 13 PREFABRICATED CONCRETE SPLASH BLOCK
- 14 MASONRY
- 15 BRICK SHAPE TO MATCH EXIST. PAINT TO MATCH
- 16 ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS
- 17 MORTAR SCREEN
- 18 CAS. STONE CAP
- 19 MASONRY CONTROL JOINT: 15'-0" MAX SPACING
- 20 8" CMU
- 21 8" CMU BOND BEAM
- 22 METALS
- 23 NOT USED
- 24 MISC. METAL, SIZE AS INDICATED
- 25 CONCRETE FILLED STEEL BOLLARD, REFER 5/A2.01
- 26 WOODS & PLASTICS
- 27 ROOF DECKING
- 28 THERMAL AND MOISTURE PROTECTION
- 29 CONT. 26 GA. GALV. METAL FLASHING
- 30 VINYL FACED THERMAL BATT INSULATION AS NOTED
- 31 AIR SPACE
- 32 CONT. 24 GA. GALV. FLASHING W/ WEEP HOLES @ 1'-0" O.C.
- 33 SEALANT AND BACKER ROD
- 34 10 MIL. VAPOR BARRIER
- 35 PRE FINISHED 26 GA. RAIN GUTTER AND DOWNSPOUTS
- 36 EXTERIOR INSULATED FINISH SYSTEM (EIF.S.)
- 37 #20 FELT
- 38 #20 FELT
- 39 CLAY SPANISH TILE TO MATCH EXIST
- 40 DOORS AND WINDOWS
- 41 FRAMES & DOOR, REFER DOOR TYPES
- 42 ROLL UP OVER HEAD DOOR, REFER DOOR TYPES
- 43 FINISHES
- 44 PARTITION PANEL METAL STUD BY MTL. BLDG. MANUF.
- 45 1/2" GYPSUM BOARD
- 46 FIBERGLASS REINFORCED PLASTIC
- 47 SPECIALTIES - NOT USED
- 48 EQUIPMENT
- 49 FIRE DEPARTMENT KEY LOCK BOX
- 50 FURNISHINGS - NOT USED
- 51 SPECIAL CONSTRUCTION
- 52 PRE-ENGINEERED METAL BUILDING FRAME BY MTL. BLDG. MFR.
- 53 PRE-FINISHED INTERIOR METAL WALL PANEL BY MTL. BLDG. MFR.
- 54 LIGHT GAGE SECONDARY FRAMING BY MTL. BLDG. MFR.
- 55 STANDING SEAM METAL ROOFING BY MTL. BLD. MANUF.
- 56 PRE-FINISHED METAL WALL PANEL BY MTL. BLD. MANUF.
- 57 PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF.
- 58 PRE-FINISHED INTERIOR METAL PARTITION PANEL BY MTL. BLDG. MANUF.
- 59 PRE-FINISHED METAL SOFFIT/CEILING PANEL BY MTL. BLDG. MANUF.
- 60 CONVEYING SYSTEMS - NOT USED
- 61 MECHANICAL
- 62 PLUMBING FIXTURE, REFER PLUMBING
- 63 ELECTRICAL
- 64 LIGHT FIXTURE, REFER TO ELECTRICAL





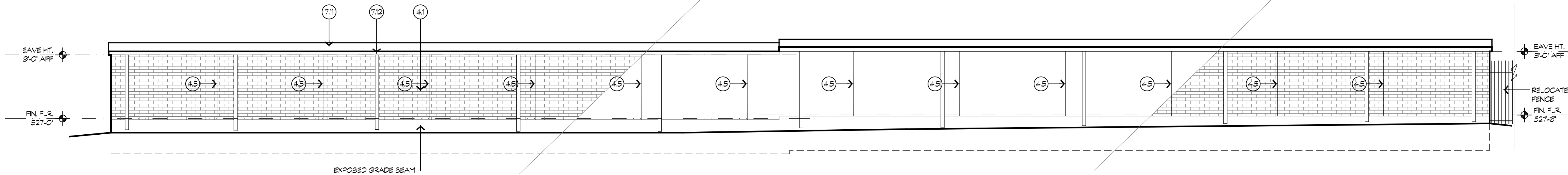
1 Bldg. "E" North Elevation

Scale: 1/8"=1'-0"



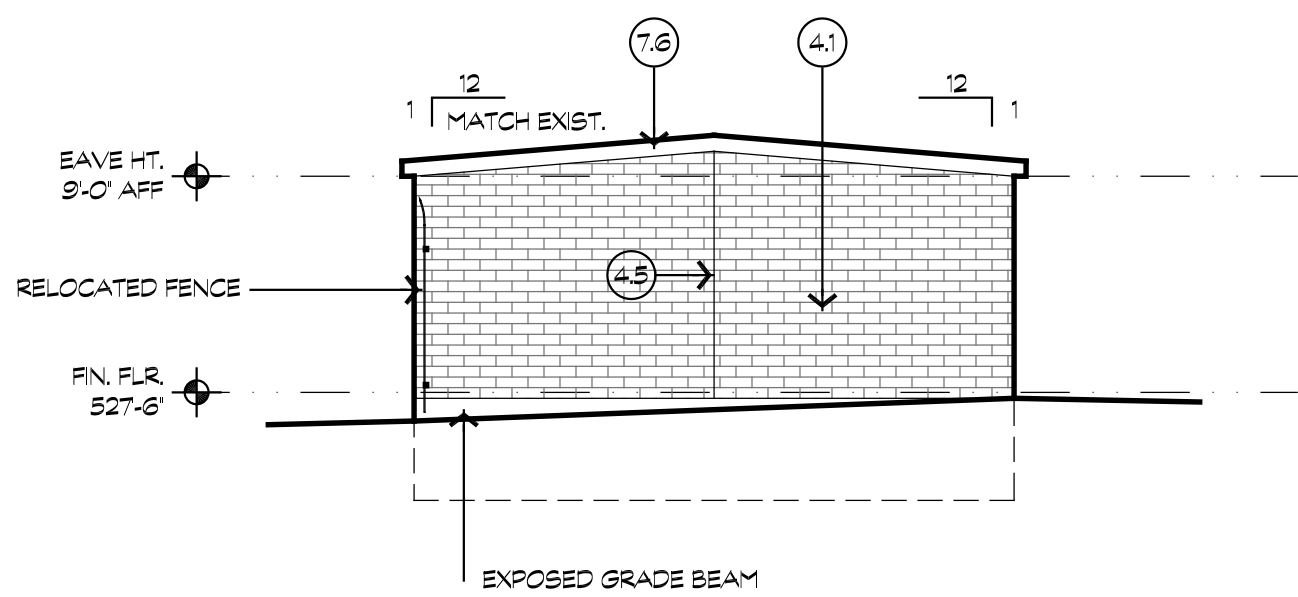
2 Bldg. "E" East Elevation

Scale: 1/8"=1'-0"



3 Bldg. "E" South Elevation

Scale: 1/8"=1'-0"



4 Bldg. "E" West Elevation

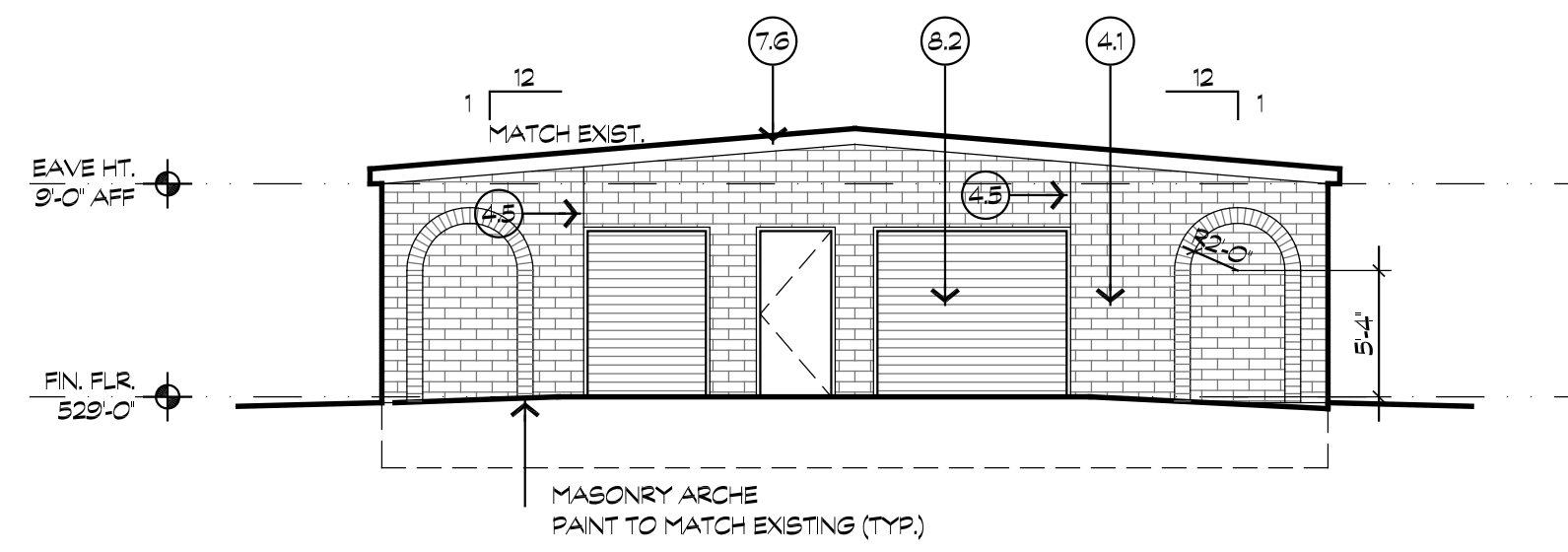
Scale: 1/8"=1'-0"

Key Notes

- NOTE:**
REFER SHEET A0.00 FOR MATERIALS LEGEND
- 1 GENERAL REQUIREMENTS - NOT USED
 - 2 SITE WORK
 - 2.1 4" THK CONC. WALK
 - 2.2 4" WIDE PAVEMENT MARKINGS
 - 2.3 ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 1/A.03
 - 2.4 HANDICAP SIGN - REFER CIVIL
 - 2.5 6" CONCRETE CURB, REFER CIVIL
 - 2.6 LANDSCAPING, REFER LANDSCAPE PLAN
 - 2.7 12" OF ROAD WALL COMPLIANT FIRE LANE STRIPING
 - 2.8 POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD
 - 3 CONCRETE
 - 3.1 CONCRETE FOUNDATION, REFER STRUCTURAL
 - 3.2 PRE-FABRICATED CONCRETE SPLASH BLOCK
 - 4 MASONRY
 - 4.1 BRICK SHAPE TO MATCH EXIST., PAINT TO MATCH
 - 4.2 ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS
 - 4.3 MORTAR SCREEN
 - 4.4 CAST STONE CAP
 - 4.5 MASONRY CONTROL JOINT: 15'-0" MAX SPACING
 - 4.6 8" CMU
 - 4.7 8" CMU BOND BEAM
 - 5 METALS
 - 5.1 NOT USED
 - 5.2 MISC. METAL SIZE AS INDICATED
 - 5.3 CONCRETE FILLED STEEL BOLLARD, REFER 5/A2.01
 - 6 WOODS & PLASTICS
 - 6.1 ROOF DECKING
 - 7 THERMAL AND MOISTURE PROTECTION
 - 7.1 CONT. 26 GA. GALV. METAL FLASHING
 - 7.2 VINYL FACED THERMAL BATT INSULATION AS NOTED
 - 7.3 AIR SPACE
 - 7.4 CONT. 24 GA. GALV. FLASHING W/ WEEP HOLES @ 2'-0" O.C.
 - 7.5 SEALANT AND BACKER ROD
 - 7.6 10 MIL. VAPOR BARRIER
 - 7.7 PRE-FINISHED 26 GA. RAIN GUTTER AND DOWNSPOUTS
 - 7.8 EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.)
 - 7.9 #30 FELT
 - 7.10 CLAY SPANISH TILE TO MATCH EXIST.
 - 8 DOORS AND WINDOWS
 - 8.1 FRAME & DOOR, REFER DOOR TYPES
 - 8.2 ROLL-UP OVER HEAD DOOR, REFER DOOR TYPES
 - 9 FINISHES
 - 9.1 PARTITION PANEL METAL STUD BY MTL. BLDG. MANUF.
 - 9.2 1/2" GYPSUM BOARD
 - 9.3 FIBERGLASS REINFORCED PLASTIC
 - 10 SPECIALTIES - NOT USED
 - 11 EQUIPMENT
 - 11.1 FIRE DEPARTMENT KEY LOCK BOX
 - 12 FURNISHINGS - NOT USED
 - 13 SPECIAL CONSTRUCTION
 - 13.1 PRE-ENGINEERED METAL BUILDING FRAME BY MTL. BLDG. MANUF.
 - 13.2 PRE-FINISHED INTERIOR METAL WALL PANEL BY MTL. BLDG. MANUF.
 - 13.3 LIGHT GAGE SECONDARY FRAMING BY MTL. BLDG. MANUF.
 - 13.4 STANDING SEAM METAL ROOFING BY MTL. BLD. MANUF.
 - 13.5 PRE-FINISHED METAL WALL PANEL BY MTL. BLD. MANUF.
 - 13.6 PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF.
 - 13.7 PRE-FINISHED INTERIOR METAL PARTITION PANEL BY MTL. BLDG. MANUF.
 - 13.8 PRE-FINISHED METAL SOFFIT/CEILING PANEL BY MTL. BLDG. MANUF.
 - 14 CONVEYING SYSTEMS - NOT USED
 - 15 MECHANICAL
 - 15.1 PLUMBING FIXTURE, REFER PLUMBING
 - 16 ELECTRICAL
 - 16.1 LIGHT FIXTURE, REFER TO ELECTRICAL

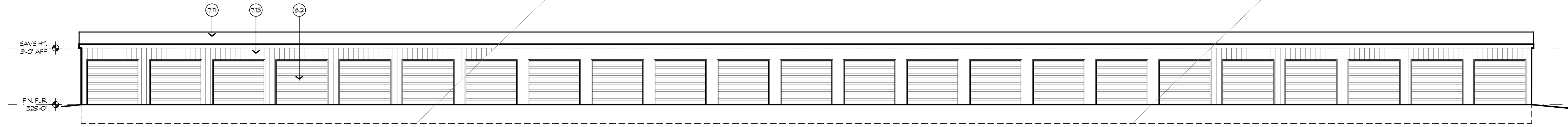


18 May 2021

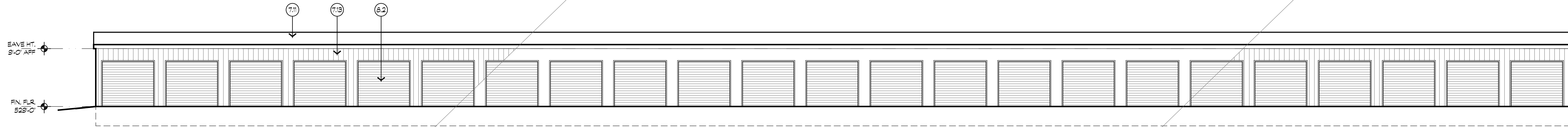


1 **Bldg. "F" North Elevation**
Scale: 1/8"=1'-0"

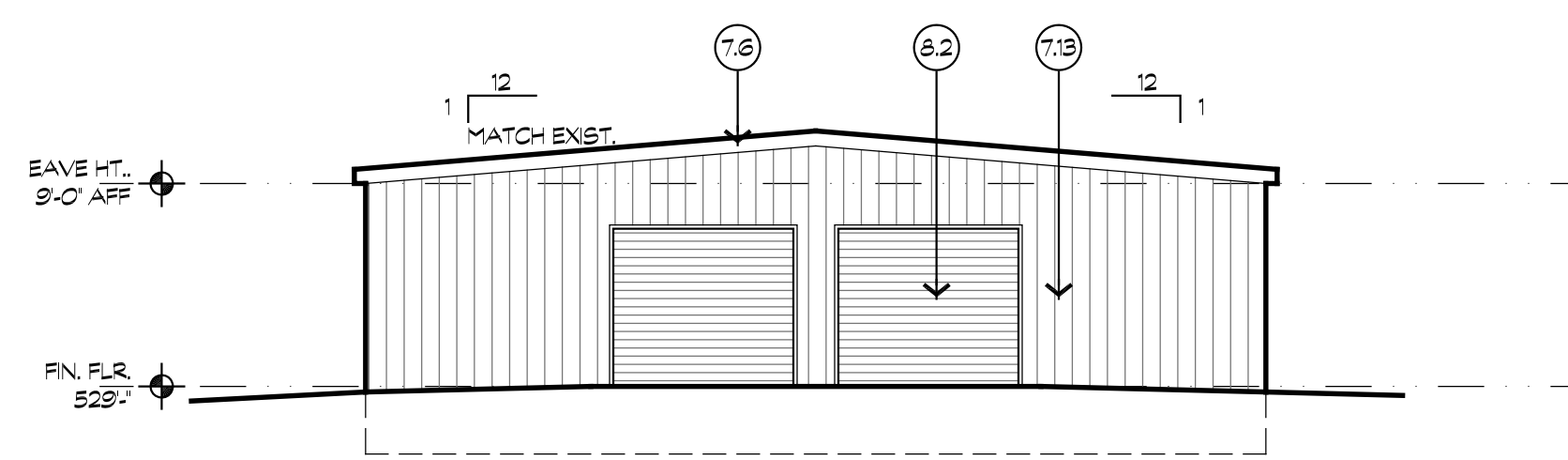
GENERAL NOTES:
1) REFER SHEET A2.01 FOR TYPICAL STEEL LINTEL SIZES AND HEAD FLASHING DETAIL.



2 **Bldg. "F" East Elevation**
Scale: 1/8"=1'-0"



3 **Bldg. "F" West Elevation**
Scale: 1/8"=1'-0"

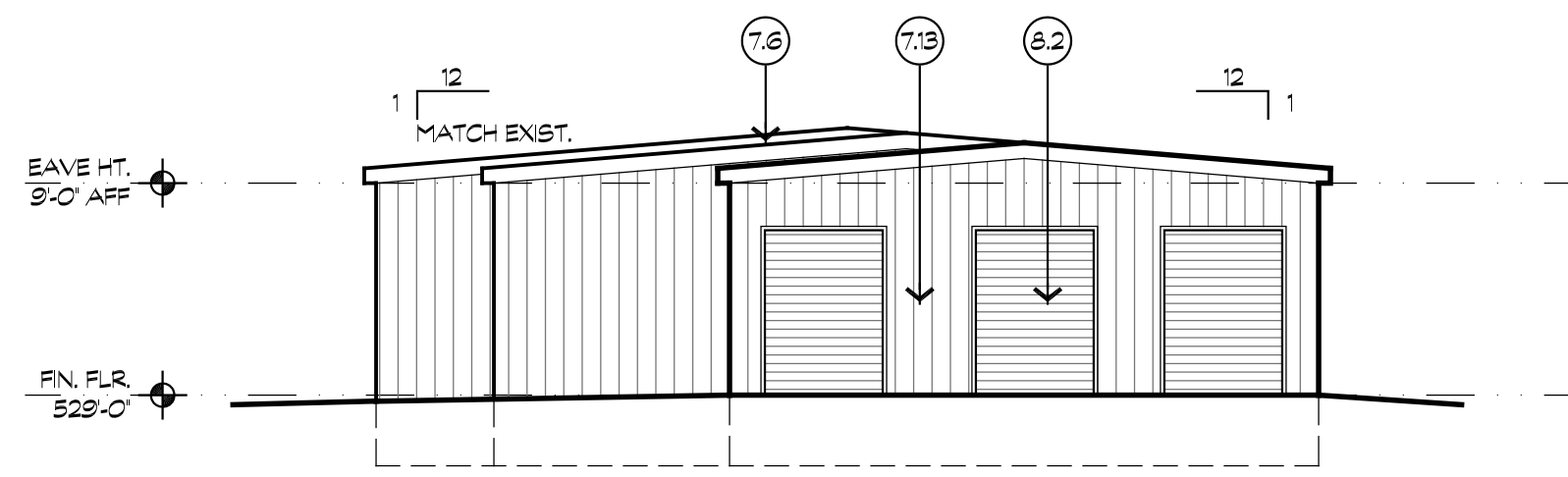


4 **Bldg. "F" South Elevation**
Scale: 1/8"=1'-0"

Key Notes

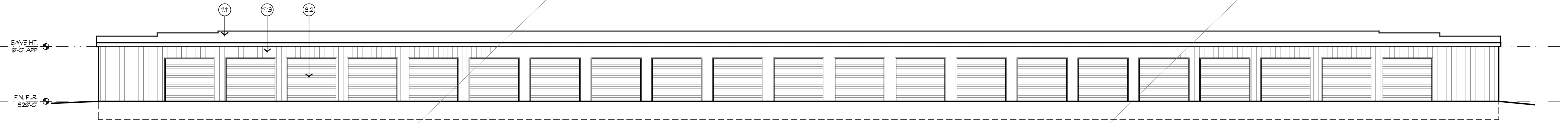
- *NOTE:**
REFER SHEET A0.00 FOR MATERIALS LEGEND
- | | | | | | | | | | | | | | | | |
|---------------------------------|--|---|--|--|---------------------|--|--|---|---------------------------|--------------|---------------------------|---|---------------------------------|---------------------------------------|---|
| 1 GENERAL REQUIREMENTS-NOT USED | 2 SITE WORK | 3 CONCRETE | 4 MASONRY | 5 METALS | 6 WOODS & PLASTICS | 7 THERMAL AND MOISTURE PROTECTION | 8 DOORS AND WINDOWS | 9 FINISHES | 10 SPECIALTIES - NOT USED | 11 EQUIPMENT | 12 FURNISHINGS - NOT USED | 13 SPECIAL CONSTRUCTION | 14 CONVEYING SYSTEMS - NOT USED | 15 MECHANICAL | 16 ELECTRICAL |
| | 2.1 4" THK. CONC. WALK | 3.1 CONCRETE FOUNDATION, REFER STRUCTURAL | 4.1 BRICK SHAPE TO MATCH EXST. PAINT TO MATCH | 5.1 MISC. METAL, SIZE AS INDICATED | 6.1 1" ROOF DECKING | 7.1 CONT. 26 GA. GALV. METAL FLASHING | 8.1 FRAME & DOOR, REFER DOOR TYPES | 9.1 PARTITION PANEL METAL STUD BY MTL. BLDG. MANUF. | | | | 13.1 PRE-ENGINEERED METAL BUILDING FRAME BY MTL. BLDG. MANUF. | | 15.1 PLUMBING FIXTURE, REFER PLUMBING | 16.1 LIGHT FIXTURE, REFER TO ELECTRICAL |
| | 2.2 4" WIDE PAVEMENT MARKINGS | 3.2 PRE-FABRICATED CONCRETE SPLASH BLOCK | 4.2 ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS | 5.2 CONCRETE FILLED STEEL BOLLARD, REFER 5/A2.01 | | 7.2 VINYL FACED THERMAL BATT INSULATION AS NOTED | 8.2 ROLL-UP OVER HEAD DOOR, REFER DOOR TYPES | 9.2 1/2" GYPSUM BOARD | | | | 13.2 PRE-FINISHED INTERIOR METAL WALL PANEL BY MTL. BLDG. MANUF. | | | |
| | 2.3 ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 1/A1.03 | | 4.3 MORTAR SCREEN | | | 7.3 AIR SPACE | | 9.3 FIBERGLASS REINFORCED PLASTIC | | | | 13.3 LIGHT GAGE SECONDARY FRAMING BY MTL. BLDG. MANUF. | | | |
| | 2.4 HANDICAP SIGN-REFER CIVIL | | 4.4 CAST STONE CAP | | | 7.4 CONT. 24 GA. GALV. FLASHING W/ WEEP HOLES @ 2'-0" O.C. | | | | | | 13.4 STANDING SEAM METAL ROOFING BY MTL. BLDG. MANUF. | | | |
| | 2.5 6" CONCRETE CURB, REFER CIVIL | | 4.5 MASONRY CONTROL JOINT: 15'-0" MAX SPACING | | | 7.5 SEALANT AND BACKER ROD | | | | | | 13.5 PRE-FINISHED METAL WALL PANEL BY MTL. BLDG. MANUF. | | | |
| | 2.6 LANDSCAPING REFER LANDSCAPE PLAN | | 4.6 8" CHU | | | 7.6 10 MIL VAPOR BARRIER | | | | | | 13.6 PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF. | | | |
| | 2.7 CITY OF ROCKWALL COMPLIANT FIRE LANE STRIPING | | 4.7 8" CHU BOND BEAM | | | 7.7 PRE FINISHED 26 GA. RAIN GUTTER AND DOWNSPOUTS | | | | | | 13.7 PRE-FINISHED INTERIOR METAL PARTITION PANEL BY MTL. BLDG. MANUF. | | | |
| | 2.8 POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD | | | | | 7.8 EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.) | | | | | | 13.8 PRE-FINISHED METAL SOFFIT/CEILING PANEL BY MTL. BLDG. MANUF. | | | |
| | | | | | | 7.9 #30 FELT | | | | | | | | | |
| | | | | | | 7.10 CLAY SPANISH TILE TO MATCH EXIST | | | | | | | | | |





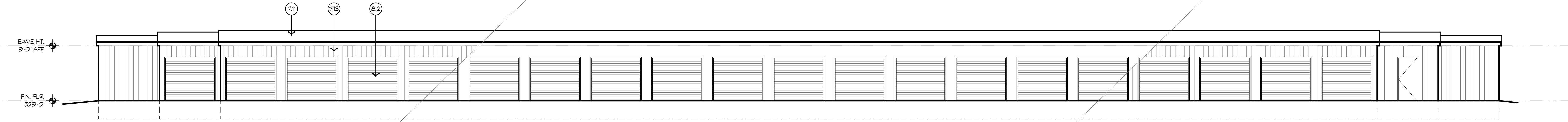
1 **Bldg. "G" North Elevation**

A3.07 Scale: 1/8"=1'-0"



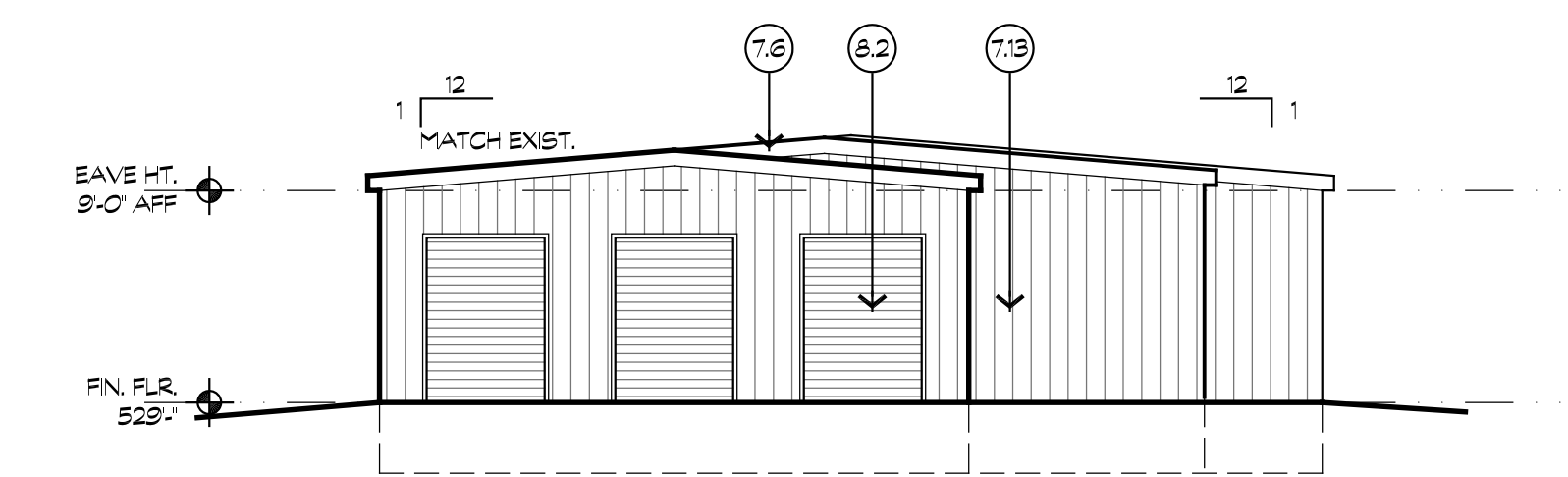
2 **Bldg. "G" East Elevation**

A3.07 Scale: 1/8"=1'-0"



3 **Bldg. "G" West Elevation**

A3.07 Scale: 1/8"=1'-0"

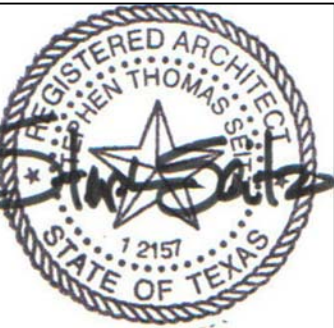


4 **Bldg. "G" South Elevation**

A3.07 Scale: 1/8"=1'-0"

Key Notes

- *NOTE:**
REFER SHEET A0.00 FOR MATERIALS LEGEND
- | | | |
|--|--|---|
| <p>1 GENERAL REQUIREMENTS - NOT USED</p> <p>2 SITE WORK
2.1 4" THK. CONC. WALK
2.2 4" WIDE PAVEMENT MARKINGS
2.3 ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 1/A1.03
2.4 HANDICAP SIGN, REFER CIVIL
2.5 6" CONCRETE CURB, REFER CIVIL
2.6 LANDSCAPING, REFER LANDSCAPE PLAN
2.7 CITY OF ROCKWALL COMPLIANT FIRE LANE STRIPING
2.8 POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD</p> <p>3 CONCRETE
3.1 CONCRETE FOUNDATION, REFER STRUCTURAL
3.2 PRE-FABRICATED CONCRETE SPLASH BLOCK</p> <p>4 MASONRY
4.1 BRICK, SHAPE TO MATCH EXIST., PAINT TO MATCH
4.2 ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS
4.3 MORTAR SCREEN
4.4 CAST STONE CAP
4.5 MASONRY CONTROL JOINT: 15'-0" MAX SPACING
4.6 8" CMU
4.7 8" CMU BOND BEAM</p> <p>5 METALS
5.1 NOT USED
5.2 MISC. METAL, SIZE AS INDICATED
5.3 CONCRETE FILLED STEEL BOLLARD, REFER 5/A2.01</p> <p>6 WOODS & PLASTICS
6.1 ROOF DECKING</p> | <p>7 THERMAL AND MOISTURE PROTECTION
7.1 CONT. 26 GA. GALV. METAL FLASHING
7.2 VINYL FACED THERMAL BATT INSULATION AS NOTED
7.3 AIR SPACE
7.4 CONT. 24 GA. GALV. FLASHING W/ WEEP HOLES @ 2'-0" O.C.
7.5 SEALANT AND BACKER ROD
7.6 10 MIL VAPOR BARRIER
7.7 2" GYPSUM BOARD
7.8 EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.)
7.9 H30 FELT
7.10 CLAY SPANISH TILE TO MATCH EXIST</p> <p>8 DOORS AND WINDOWS
8.1 FRAME & DOOR, REFER DOOR TYPES
8.2 ROLL-UP OVER HEAD DOOR, REFER DOOR TYPES</p> <p>9 FINISHES
9.1 PARTITION PANEL METAL STUD BY MTL. BLDG. MANUF.
9.2 1/2" GYPSUM BOARD
9.3 FIBERGLASS REINFORCED PLASTIC</p> <p>10 SPECIALTIES - NOT USED</p> <p>11 EQUIPMENT
11.1 FIRE DEPARTMENT KEY LOCK BOX</p> <p>12 FURNISHINGS - NOT USED</p> | <p>13 SPECIAL CONSTRUCTION
13.1 PRE-ENGINEERED METAL BUILDING FRAME BY MTL. BLDG. MANUF.
13.2 PRE-FINISHED INTERIOR METAL WALL PANEL BY MTL. BLDG. MANUF.
13.3 LIGHT GAGE SECONDARY FRAMING BY MTL. BLDG. MANUF.
13.4 STANDING SEAM METAL ROOFING BY MTL. BLD. MANUF.
13.5 PRE-FINISHED METAL WALL PANEL BY MTL. BLD. MANUF.
13.6 PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF.
13.7 PRE-FINISHED INTERIOR METAL PARTITION PANEL BY MTL. BLDG. MANUF.
13.8 PRE-FINISHED METAL SOFFIT/CEILING PANEL BY MTL. BLDG. MANUF.</p> <p>14 CONVEYING SYSTEMS - NOT USED</p> <p>15 MECHANICAL
15.1 PLUMBING FIXTURE, REFER PLUMBING</p> <p>16 ELECTRICAL
16.1 LIGHT FIXTURE, REFER TO ELECTRICAL</p> |
|--|--|---|



18 May 2021

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW THE EXPANSION OF AN EXISTING MINI-WAREHOUSE FACILITY WITHIN A COMMERCIAL (C) DISTRICT AS SPECIFIED WITHIN ARTICLE 04, *PERMISSIBLE USES*, OF THE UNIFIED DEVELOPMENT CODE, FOR A 6.06-ACRE PARCEL OF LAND ZONED COMMERCIAL (C) DISTRICT, AND DESCRIBED AS LOT 1, BLOCK C OF THE ROCKWALL BUSINESS PARK EAST ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Stephen Seitz, on behalf of Jim Vaudagna, for the approval of a Specific Use Permit (SUP) to allow the expansion of an existing mini-warehouse facility within a Commercial (C) District for a 6.06-acre parcel of land identified as Lot 1, Block C of the Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, which is generally situated west of the intersection of SH-205 and Ralph Hall Parkway, and more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the expansion of a an existing mini-warehouse facility within a Commercial (C) District as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03 J, *Wholesale, Distribution and Storage Land Uses*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Mini-Warehouse Facility on the Subject Property*, and conformance to these operational conditions are required for continued operations:

- (1) All operations on this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) The building elevations submitted with the site plan shall generally adhere to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- (3) The minimum roof pitches for the proposed buildings shall be the same as the existing buildings or conform to the roof pitches called out on the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- (4) No outside storage of any kind shall be permitted on this site. This includes the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles.
- (5) Businesses shall not be allowed to operate within individual storage units.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2TH DAY OF AUGUST, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 19, 2021

2nd Reading: August 2, 2021

Exhibit 'A'
Zoning Exhibit

Address: 1280 E. Ralph Hall Parkway

Legal Description: Lot 1, Block C, Rockwall Business Park East Addition

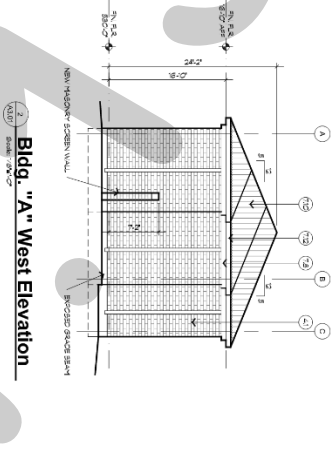
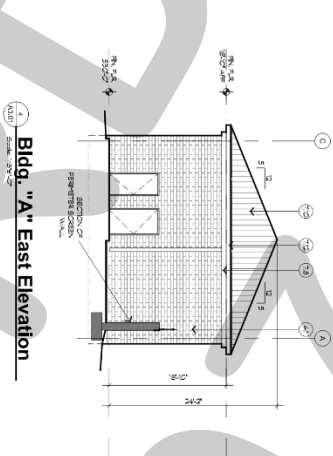
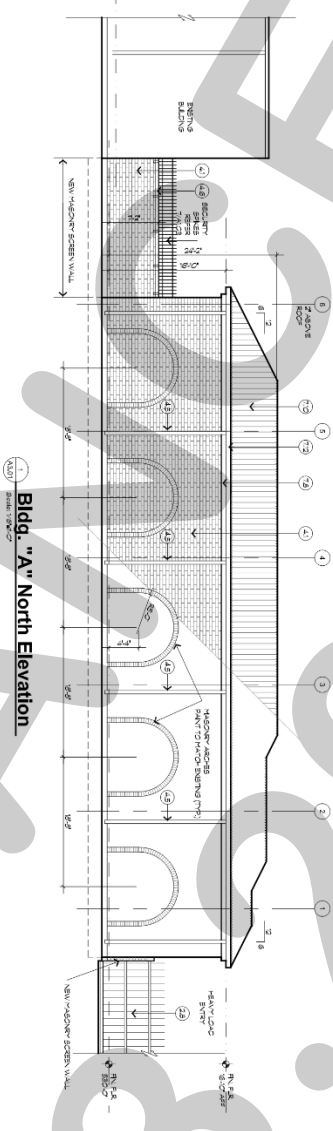
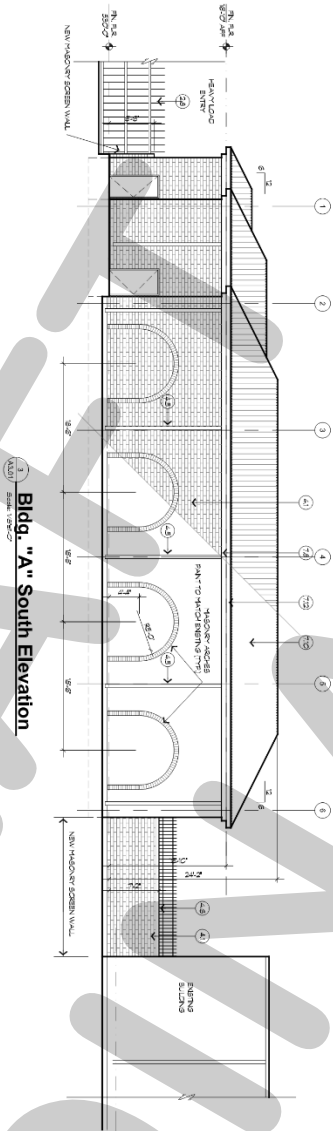


**Exhibit 'B':
Residential Plot Plan**

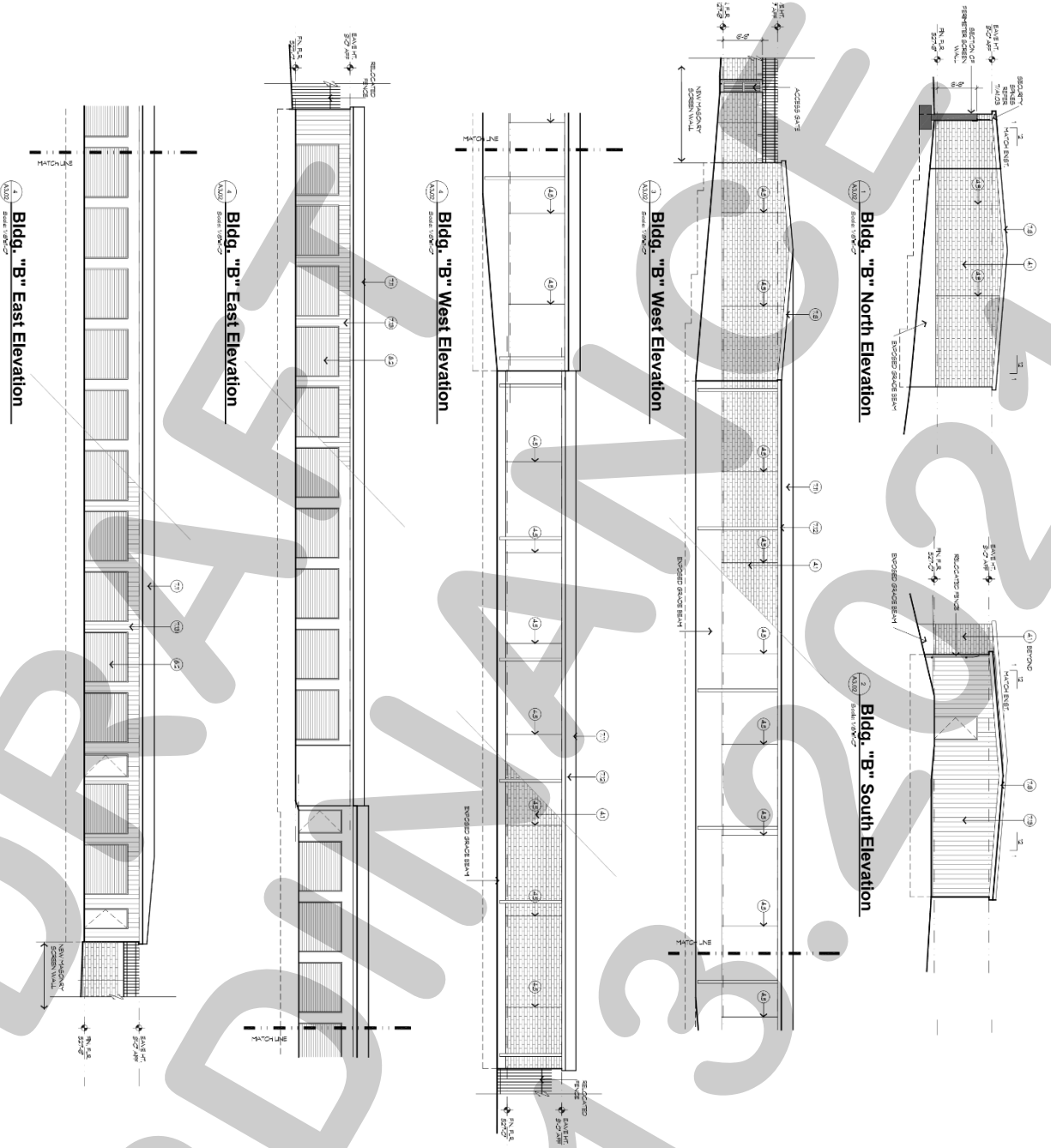


Architectural Site Plan

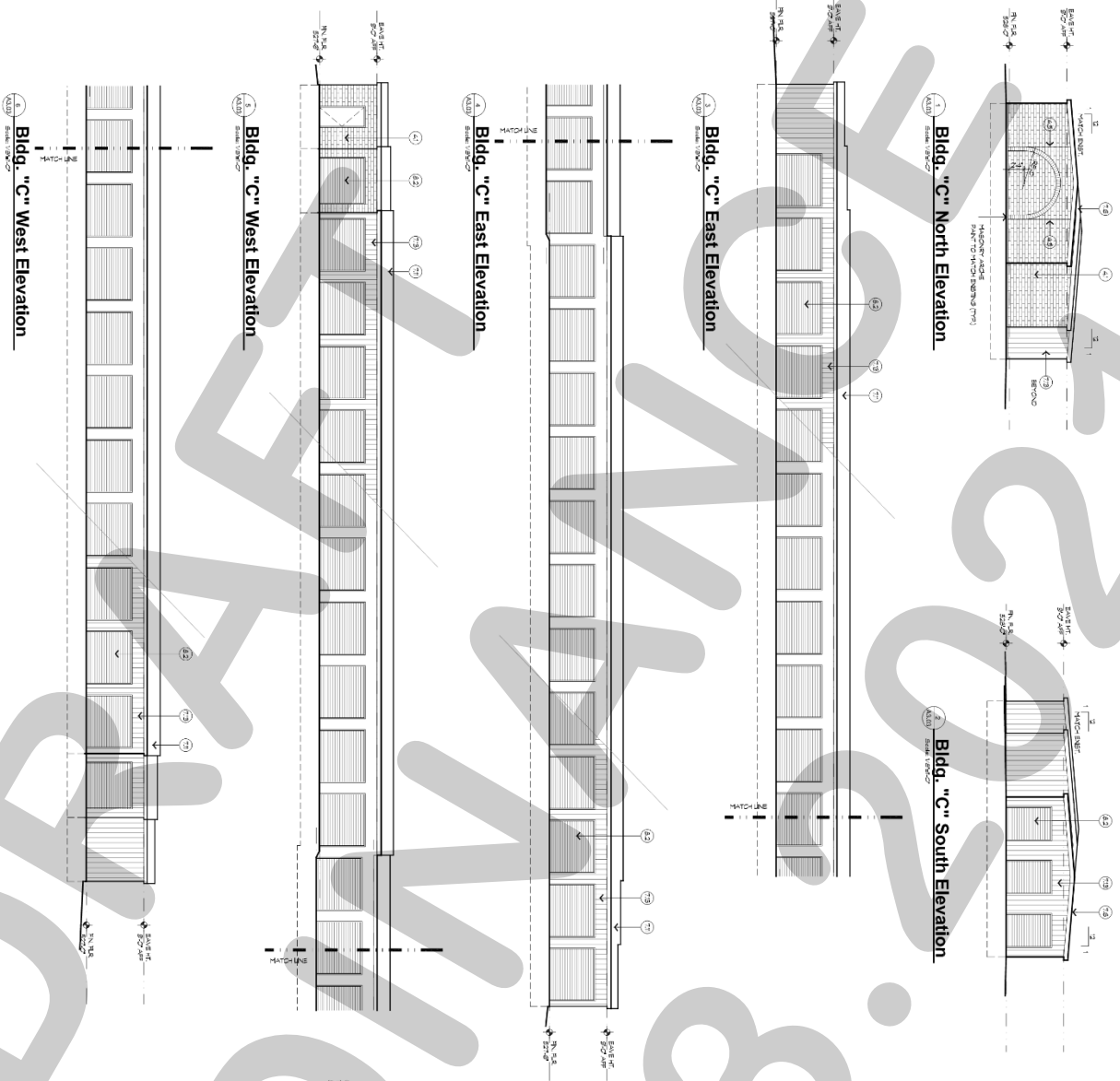
**Exhibit 'C':
Elevations**



**Exhibit 'C':
Elevations**

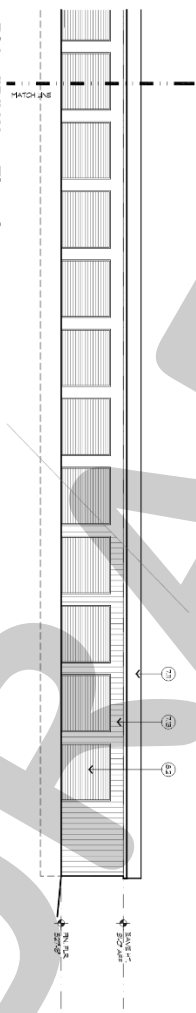


**Exhibit 'C':
Elevations**

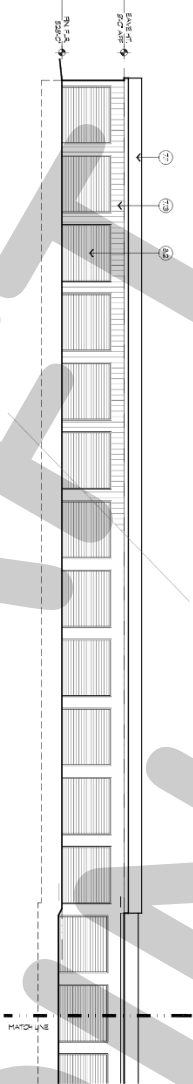


**Exhibit 'C':
Elevations**

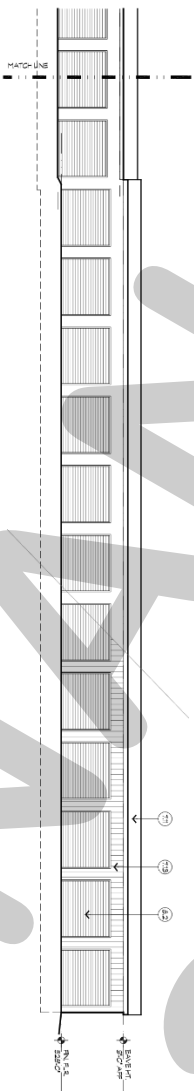
Bldg. "D" West Elevation



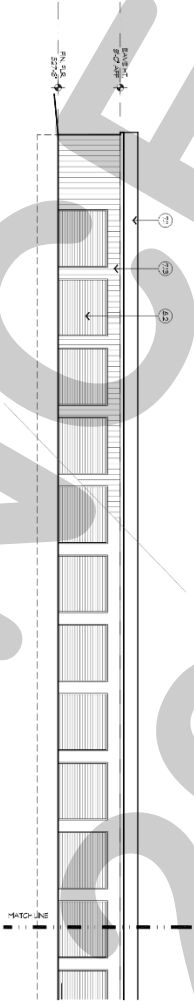
Bldg. "D" West Elevation



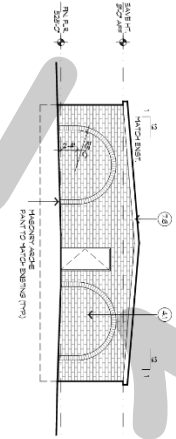
Bldg. "D" East Elevation



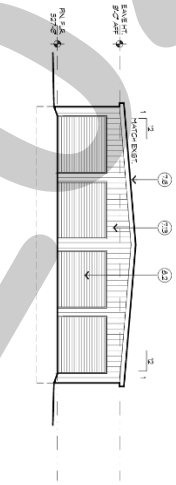
Bldg. "D" East Elevation



Bldg. "D" North Elevation



Bldg. "D" South Elevation

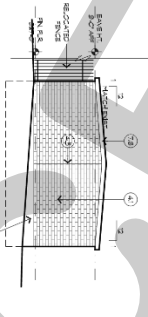


GENERAL NOTES:
1. REFER TO SHEET S-201 FOR MATERIALS, FINISHES, AND DETAILS.
2. REFER TO SHEET S-202 FOR DIMENSIONS AND NOTES.

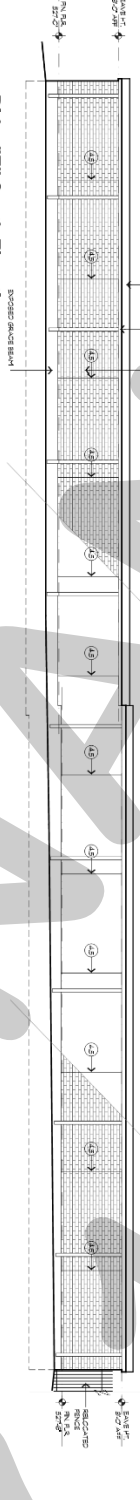
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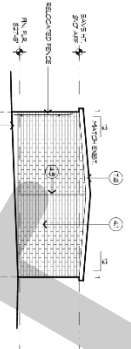
Bldg. "E" North Elevation



Bldg. "E" East Elevation



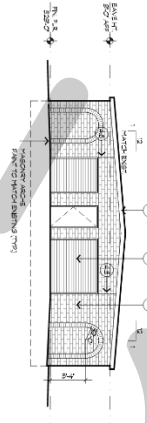
Bldg. "E" South Elevation



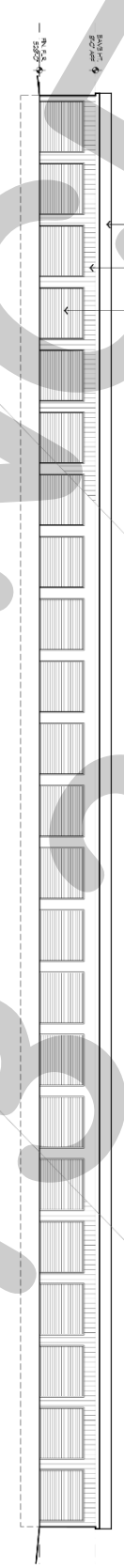
Bldg. "E" West Elevation

- Key Notes**
1. GENERAL NOTES NOTED ON SEPARATE SHEETS.
 2. SEE ARCHITECT'S NOTES FOR MATERIALS, FINISHES, AND CONSTRUCTION DETAILS.
 3. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 4. FINISH GRADE IS INDICATED BY A DASHED LINE.
 5. FOUNDATION IS TO BE CONCRETE ON GRAVEL.
 6. ROOF IS TO BE AS SHOWN ON ROOF PLAN.
 7. EXTERIOR WALLS ARE TO BE CONCRETE BLOCK WITH FINISH AS NOTED.
 8. INTERIOR WALLS ARE TO BE GYPSONUM BOARD WITH FINISH AS NOTED.
 9. FLOORING IS TO BE AS SHOWN ON FLOOR PLAN.
 10. CEILING IS TO BE GYPSONUM BOARD WITH FINISH AS NOTED.
 11. DOORS AND WINDOWS ARE TO BE AS SHOWN ON SCHEDULE.
 12. PAINTING IS TO BE AS SHOWN ON SCHEDULE.
 13. ALL MATERIALS AND FINISHES ARE TO BE APPROVED BY THE ARCHITECT.
 14. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 15. ALL WORK IS TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 16. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES.
 18. ALL MATERIALS AND FINISHES SHALL BE STORED PROPERLY ON-SITE.
 19. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE.
 20. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE CITY OF ROCKWALL SPECIFICATIONS.
 21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.
 22. ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
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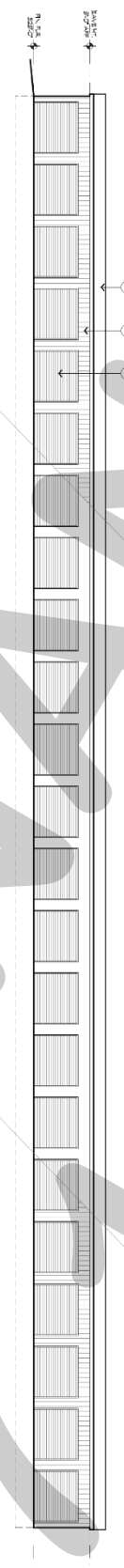
Exhibit 'C': Elevations



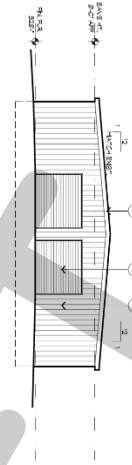
Bldg. "F" North Elevation



Bldg. "F" East Elevation



Bldg. "F" West Elevation



Bldg. "F" South Elevation

- Key Notes**
1. GENERAL REQUIREMENTS: A-CF USED
 2. REFER TO ARCHITECTURAL DETAILS FOR MATERIALS AND FINISHES
 3. REFER TO MECHANICAL AND ELECTRICAL SCHEDULES FOR EQUIPMENT SIZES AND LOCATIONS
 4. REFER TO STRUCTURAL SCHEDULE FOR COLUMN AND BEAM SIZES AND LOCATIONS
 5. REFER TO CIVIL SCHEDULE FOR CURB AND WALKWAY LOCATIONS
 6. REFER TO LANDSCAPE ARCHITECTURE SCHEDULE FOR PLANTING AND IRRIGATION LOCATIONS
 7. REFER TO ENERGY CODE FOR ENERGY EFFICIENCY REQUIREMENTS
 8. REFER TO LOCAL ORDINANCES FOR PERMITS AND REGULATIONS
 9. REFER TO LOCAL ORDINANCES FOR SIGNAGE REQUIREMENTS
 10. REFER TO LOCAL ORDINANCES FOR SETBACK REQUIREMENTS
 11. REFER TO LOCAL ORDINANCES FOR HEIGHT REQUIREMENTS
 12. REFER TO LOCAL ORDINANCES FOR FLOOD ZONING REQUIREMENTS
 13. REFER TO LOCAL ORDINANCES FOR HISTORIC PRESERVATION REQUIREMENTS
 14. REFER TO LOCAL ORDINANCES FOR ENVIRONMENTAL REQUIREMENTS
 15. REFER TO LOCAL ORDINANCES FOR TRANSPORTATION REQUIREMENTS
 16. REFER TO LOCAL ORDINANCES FOR UTILITIES REQUIREMENTS
 17. REFER TO LOCAL ORDINANCES FOR FIRE SAFETY REQUIREMENTS
 18. REFER TO LOCAL ORDINANCES FOR PUBLIC SAFETY REQUIREMENTS
 19. REFER TO LOCAL ORDINANCES FOR COMMUNITY DEVELOPMENT REQUIREMENTS
 20. REFER TO LOCAL ORDINANCES FOR ECONOMIC DEVELOPMENT REQUIREMENTS
 21. REFER TO LOCAL ORDINANCES FOR CULTURAL HERITAGE REQUIREMENTS
 22. REFER TO LOCAL ORDINANCES FOR RECREATION REQUIREMENTS
 23. REFER TO LOCAL ORDINANCES FOR OPEN SPACE REQUIREMENTS
 24. REFER TO LOCAL ORDINANCES FOR VISUAL QUALITY REQUIREMENTS
 25. REFER TO LOCAL ORDINANCES FOR AIR QUALITY REQUIREMENTS
 26. REFER TO LOCAL ORDINANCES FOR SOIL CONSERVATION REQUIREMENTS
 27. REFER TO LOCAL ORDINANCES FOR WATER QUALITY REQUIREMENTS
 28. REFER TO LOCAL ORDINANCES FOR WASTE MANAGEMENT REQUIREMENTS
 29. REFER TO LOCAL ORDINANCES FOR CLIMATE CHANGE REQUIREMENTS
 30. REFER TO LOCAL ORDINANCES FOR SUSTAINABLE DEVELOPMENT REQUIREMENTS



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 13, 2021
APPLICANT: Ignacio Cardenas
CASE NUMBER: Z2021-022; *Specific Use Permit (SUP) for a Residential Infill for 147 Eva Place*

SUMMARY

Hold a public hearing to discuss and consider a request by Ignacio Cardenas for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.158-acre parcel of land identified as Lot 810-A0 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 147 Eva Place, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lot 810A of the Rockwall Lake Properties Development #2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 147 Eva Place. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are six (6) parcels of land, three (3) vacant parcels (173, 197, & 209 Eva Place) and three (3) parcels with modular homes constructed on them (159 & 187 Eva Place and 109 Diana Drive). Beyond this is Diana Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this are several parcels of land with single-family and modular homes situated on them. All of these properties are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses.

South: Directly south of the subject property are three (3) parcels of land (135 Eva Place and 115 & 384 County Line Road) developed with two (2) single-family homes and one (1) duplex. Beyond this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several parcels of land zoned Commercial (C) District and that have various commercial land uses.

East: Directly east of the subject property is a row of single-family and modular homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) land uses. Beyond this is Valerie Place, which is identified as a

R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this are two (2) rows of single-family and modular homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) land uses.

West: Directly west of the subject property is Eva Place, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a row of single-family and modular homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) land uses. Beyond this is a vacant 14.374-acre tract of land (Tract 2-1, G. Wells Survey) also zoned Planned Development District 75 (PD-75).

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Lake Rockwall Estates East Subdivision. This subdivision has been in existence for more than ten (10) years, consists of more than five (5) lots, and is more than 90% of the developable lots are developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Eva Place and Diana Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Eva Place, Diana Drive, and the Subject Property	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face west towards Eva Place.
Year Built	1973-2008	N/A
Building SF on Property	600 SF – 1,729 SF	2,410 SF
Building Architecture	Single-Family and Modular Homes	Comparable Architecture to the Surrounding Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks are 18-45-Feet	X > 20-Feet
Side	The side yard setbacks are 0-28-Feet	6-Feet & 4.3-Feet
Rear	The rear yard setbacks are 8-45-Feet	X > 10-Feet
Building Materials	Brick, Wood Siding, & Vinyl and Metal Siding	Brick & Composite Siding
Paint and Color	Brown, Tan, Blue, White, & Yellow	N/A
Roofs	Composite Shingles & Metal	Composite Shingle
Driveways/Garages	Flat-Front Entry, Carports, and Homes with No Garages	The garage will be a flat-front entry.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage 5-feet, 7-inches in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in the past.

With the exception of the garage setback requirement, the proposed single-family home meets all of the density and dimensional requirements for the Single-Family 7 (SF-7) District as stipulated by Planned Development District 75 (PD-75) and the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Eva Place and Diana Drive. The proposed building elevations have also been provided in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On June 29, 2021, staff mailed 107 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-022

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 147 Eva Place

SUBDIVISION _____

LOT 810-A

BLOCK _____

GENERAL LOCATION Rockwall

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-75

CURRENT USE Land

PROPOSED ZONING PD-75

PROPOSED USE single family home

ACREAGE .79

LOTS [CURRENT] _____

LOTS [PROPOSED] 4

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Ignacio Cardenas

APPLICANT _____

CONTACT PERSON Ignacio Cardenas

CONTACT PERSON _____

ADDRESS Po Box 788

ADDRESS _____

CITY, STATE & ZIP Rockwall TX 75087

CITY, STATE & ZIP _____

PHONE 214-664-5289

PHONE _____

E-MAIL ictconstruction1@gmail.com

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

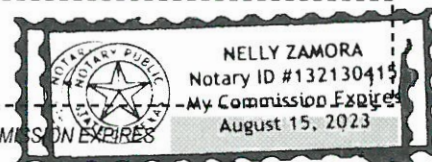
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ignacio Cardenas Issac [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

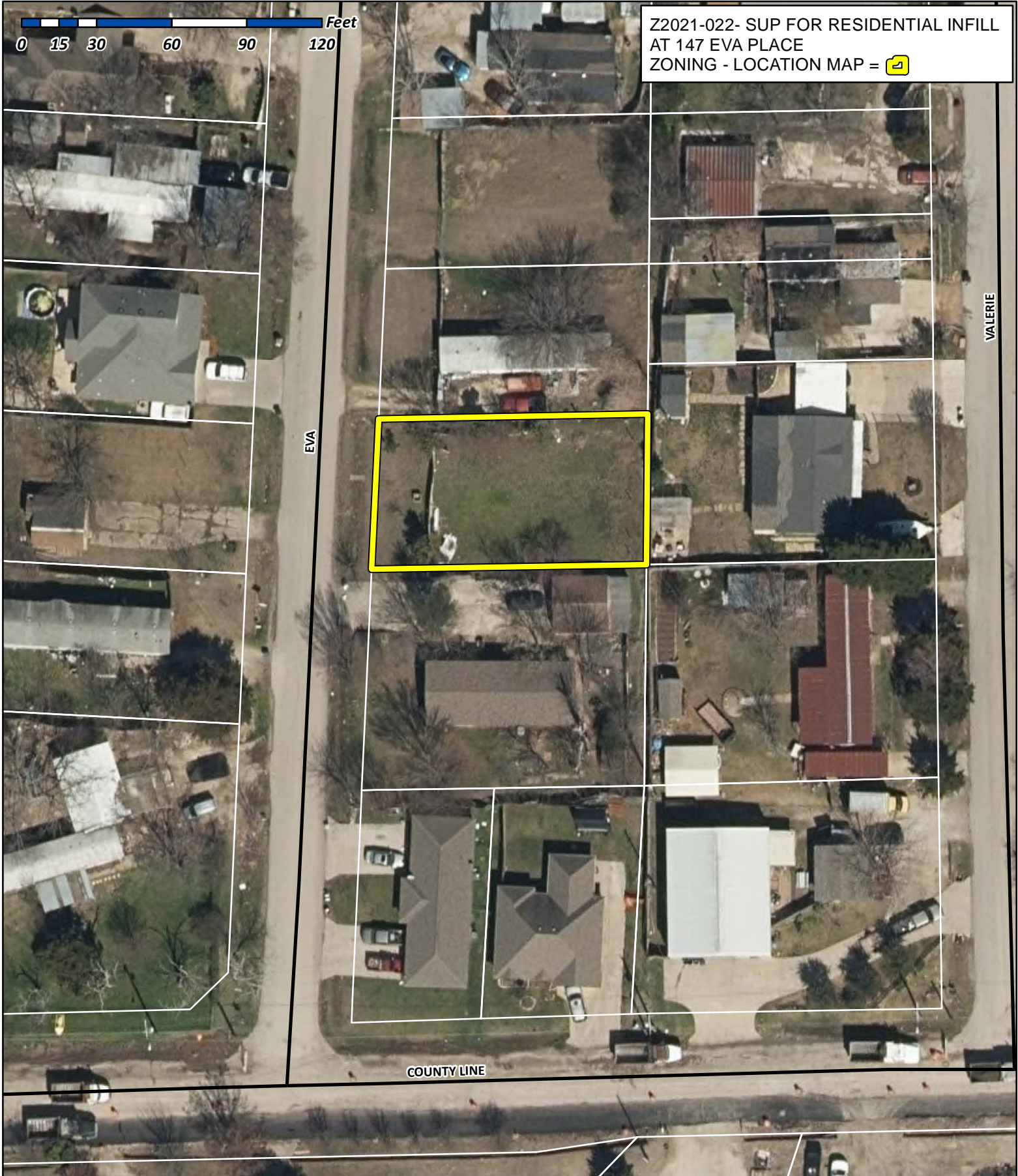
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ May 2021 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF May 20 21. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF May, 20 21.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

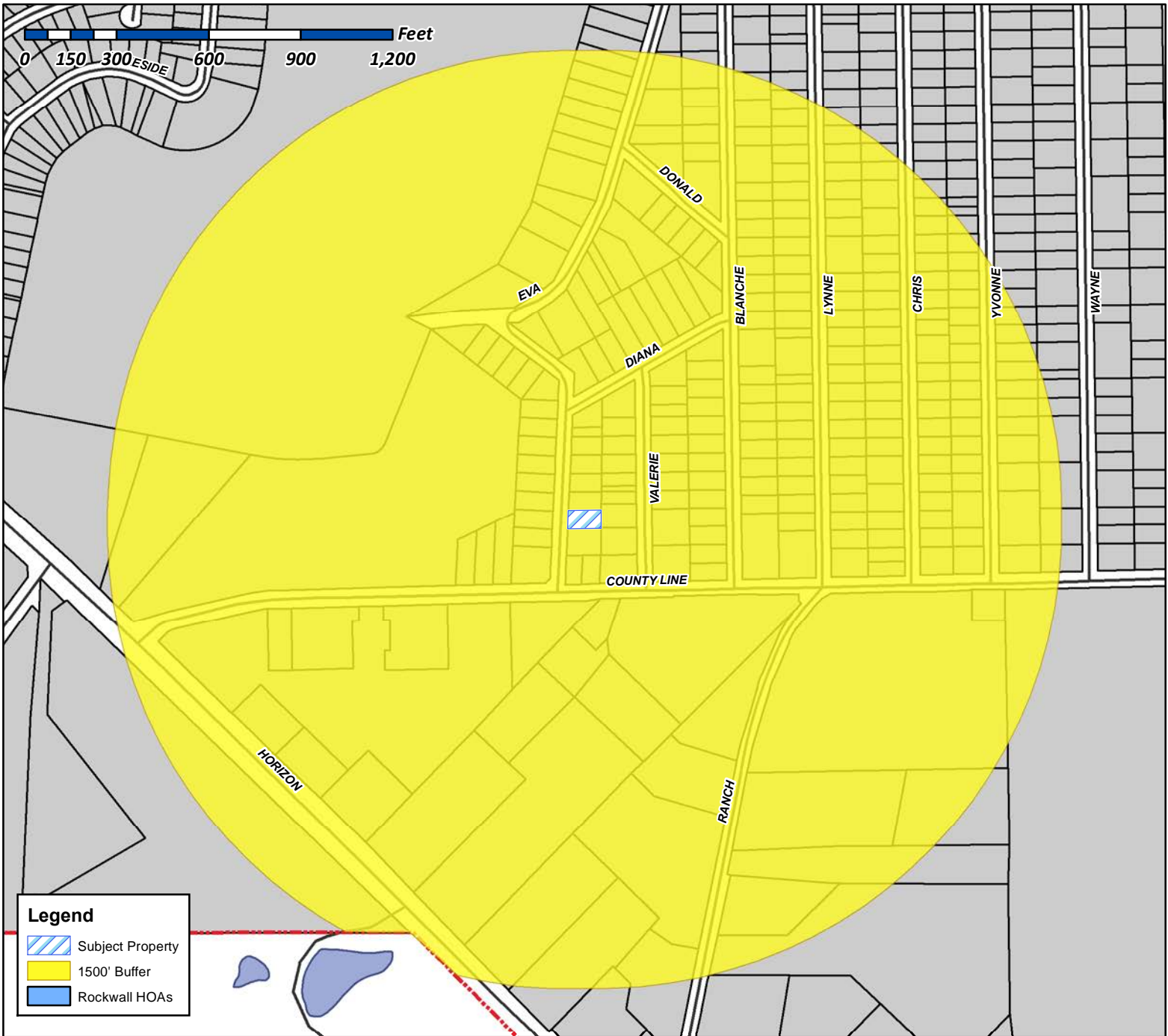
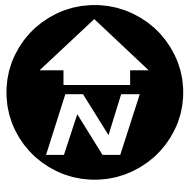




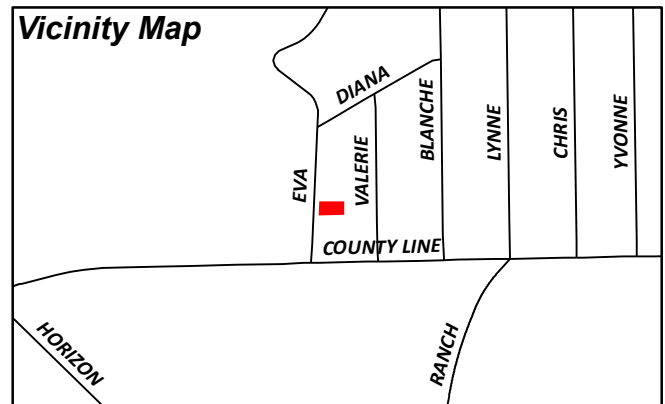
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2021-022
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 147 Eva Place



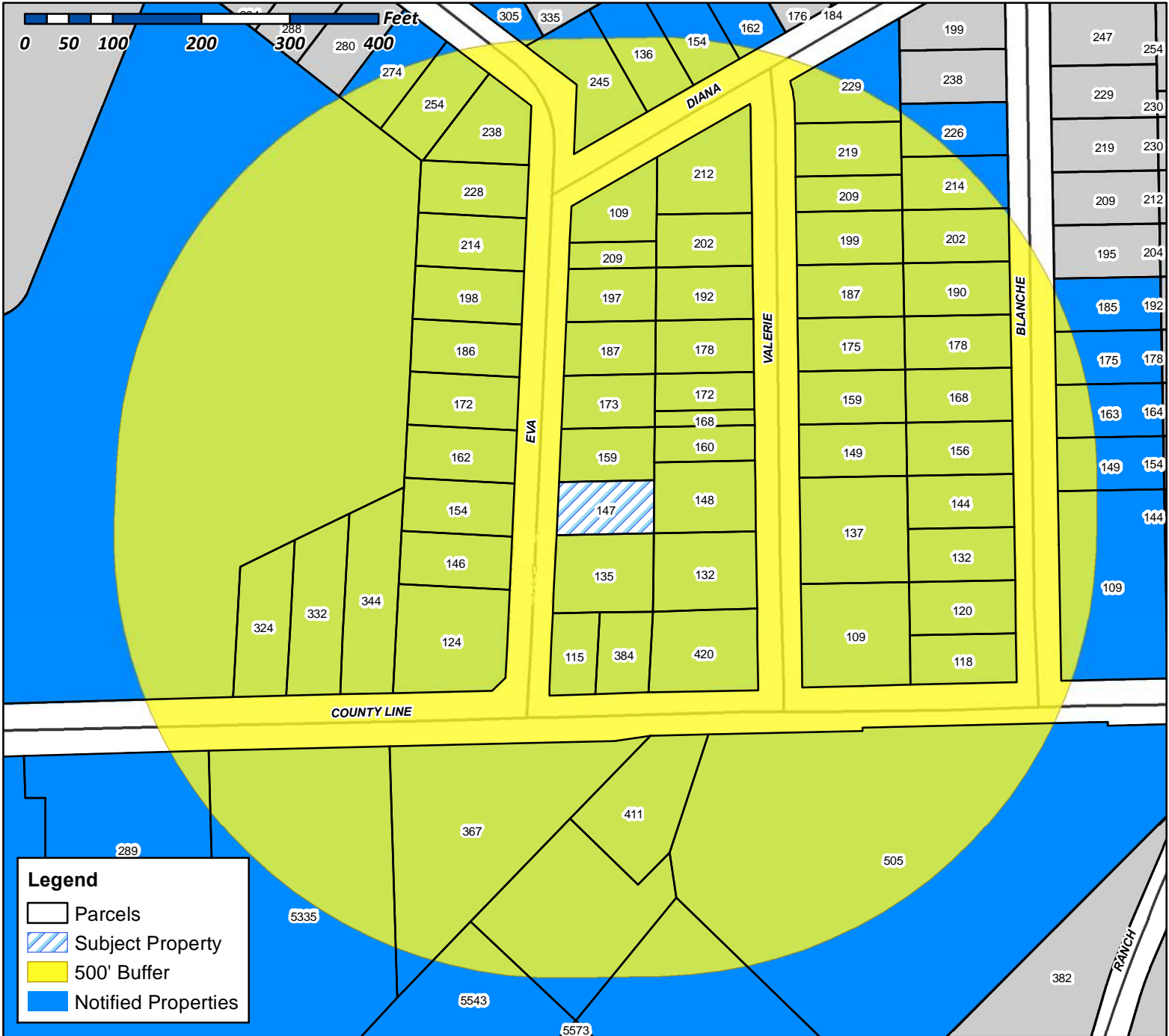
Date Created: 6/14/2021
 For Questions on this Case Call (972) 771-7745



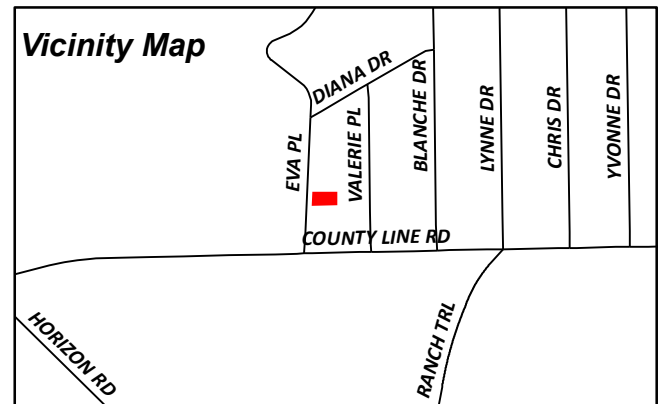
City of Rockwall

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Case Address: 147 Eva Place



Date Created: 6/14/2021
 For Questions on this Case Call (972) 771-7745

SALAS HECTOR JABIER & CAROLINA ORTIZ
1000 W YELLOWJACKET LANE APT 2507
ROCKWALL, TX 75087

SILVA BERTHA
1041 E FM 552
ROCKWALL, TX 75087

VARGAS RICARDO
109 BLANCHE DR
ROCKWALL, TX 75032

HERREROS ANTELMO &
SONIA T SERNA
109 DIANA DR
ROCKWALL, TX 75032

SALAS ALBERTO R & ADELA A
109 VALERIE PL
ROCKWALL, TX 75032

SILVA JUAN C
115 EVA PL
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
118 BLANCHE DR
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
120 BLANCHE DR
ROCKWALL, TX 75032

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

MIRELES RAYMUNDO
124 EVA PLACE
ROCKWALL, TX 75032

FLORES DAYANARA &
JAMES GLEASON
132 BLANCHE DR
ROCKWALL, TX 75032

PAVON MARISOL
132 VALERIE PL
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX 75032

MONTELONGO MOISES
135 EVA PLACE
ROCKWALL, TX 75032

LA REN CORPORATION
C/O DON/AUDREY BLANKENSHIP
136 DIANA
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR
137 VALERIE PL
ROCKWALL, TX 75032

LOC PHU AND VINCENT TONG
1414 BUFFALO WOODS CT
KATY, TX 77494

HERNANDEZ NESTOR AND
GILBERTA NAVERRETE
1420 W COLLEGE ST LOT 1
MURFREESBORO, TN 37129

GARCIA MARTIN
144 BLANCHE DR
ROCKWALL, TX 75032

SILVA BERTHA
146 EVA
ROCKWALL, TX 75032

CARDENAS IGNACIO
147 EVA PL
ROCKWALL, TX 75032

VALDEZ MARY ESTHER
148 VALERIE PL
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
149 VALERIE PL
ROCKWALL, TX 75032

ROMAN JAIME A & MA GUADALUPE SANDOVAL
154 DIANA DR
ROCKWALL, TX 75032

CASTANEDA AARON JAIME CHAPELA
154 EVA PLACE
ROCKWALL, TX 75032

VAZQUEZ RAMON LOPEZ
156 BLANCHE DR
ROCKWALL, TX 75032

KUO DANIEL
1580 COASTAL DRIVE
ROCKWALL, TX 75087

MORALES RAMIRO JR
159 EVA PLACE
ROCKWALL, TX 75032

TEPOX FABIOLA DOMINGUEZ
159 VALERIE PL
ROCKWALL, TX 75032

DURAN ROCIO
160 VALERIE PL
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL
162 DIANA
ROCKWALL, TX 75032

DEL RIO ALBERTO & MONICA
162 EVA PL
ROCKWALL, TX 75032

VARGAS RICARDO
163 BLANCHE DR
ROCKWALL, TX 75032

PALICIOS MARIA
168 BLANCHE DR
ROCKWALL, TX 75032

CITY OF ROCKWALL
168 VALERIEPL
ROCKWALL, TX 75032

LOZANO ISIDRO
1705 HIGH MEADOW DR
GARLAND, TX 75040

WOLFORD STEPHANIE D
172 EVA PLACE
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN AND
MARIANA SIFUENTES
172 VALERIE PL
ROCKWALL, TX 75032

MORALES RAMIRO JR
173 EVA PL
ROCKWALL, TX 75032

GOMEZ ALEJANDRO
175 BLANCHE DR
ROCKWALL, TX 75032

LOC PHU AND VINCENT TONG
175 VALERIE PL
ROCKWALL, TX 75032

MEJIA JULIO & MARIA
176 RENEE DR
ROCKWALL, TX 75032

OLIVARES JAIME
178 BLANCHE DR
ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I
178 VALERIE PL
ROCKWALL, TX 75032

5543 FM3097 LLC
1809 BRISTOL LANE
ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA
185 BLANCHE DR
ROCKWALL, TX 75032

SILVA MARIA
186 EVA PL
ROCKWALL, TX 75032

ORTEGA RUBEN
187 EVA PL
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO &
MARIA BLANCA RESENDIZ
187 VALERIE PL
ROCKWALL, TX 75032

ALVAREZ FRANCISCO J
190 BLANCHE DR
ROCKWALL, TX 75032

LOZANO ISIDRO
192 VALERIEPL
ROCKWALL, TX 75032

BARRON BENICIO
195 ROSEMARIE DR
LEBANON, OH 45036

MEJIA JULIO & MARIA
197 EVAPL
ROCKWALL, TX 75032

CONTRERAS MANUEL AND MARIA G
198 EVA PL
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PL
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PLACE
ROCKWALL, TX 75032

ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

TOVAR JUAN &
NORA OREGA
202 VALERIE PL
ROCKWALL, TX 75032

KENT RONALD & BRENDA
209 EVAPL
ROCKWALL, TX 75032

CANADY JERRY ANN
209 VALERIE PL
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
212 LYNNE DR
ROCKWALL, TX 75032

RICO RUIZ CARLOS AND MARIA
212 VALERIE PL
ROCKWALL, TX 75032

RICO CARLOS
212 VALERIE PL
ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ
214 BLANCHE DR
ROCKWALL, TX 75032

RICO CARLOS
214 EVA PL
ROCKWALL, TX 75032

RUIZ JOSE C
219 VALERIE PL
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
226 BLANCHE DRIVE
ROCKWALL, TX 75032

MOSELEY CYNTHIA SUE
228 EVAPL
ROCKWALL, TX 75032

KUO DANIEL
229 VALERIE PL
ROCKWALL, TX 75032

BUFFALO CREEK BUSINESS PARK LTD
2324 EAST I 30
ROYSE CITY, TX 75189

LA REN CORPORATION
C/O DON/AUDREY BLANKENSHIP
238 EVA PL
ROCKWALL, TX 75032

HERNANDEZ NESTOR AND
GILBERTA NAVERRETE
245 EVA
ROCKWALL, TX 75032

LA REN CORPORATION
C/O DON/AUDREY BLAKENSHIP
254 EVA PL
ROCKWALL, TX 75032

ESCOBAR AURELIO
274 EVA PL
ROCKWALL, TX 75032

KELLY EDDY D & SHARON RENEE REV LIV TR
289 COUNTY LINE RD
ROCKWALL, TX 75032

HILGENFELD DONNA & ROSS
305 EVAPL
ROCKWALL, TX 75032

JIMENEZ TERESA HERNANDEZ &
LUIS TORRES GALINA
321 PANOLA CT
ROYSE CITY, TX 75189

RANGELL JUAN JOSE
324 COUNTY LINE RD
ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I
3248 BLACKLAND RD
ROYSE CITY, TX 75189

BARRON BENICIO
332 COUNTY LINE RD
ROCKWALL, TX 75032

SILVA JUAN C
332 E LINDA LN
ROYSE CITY, TX 75189

JIMENEZ TERESA HERNANDEZ &
LUIS TORRES GALINA
344 COUNTY LINE RD
ROCKWALL, TX 75032

RAMIREZ RAUL & TERESA
358 TROUT ST
ROCKWALL, TX 75032

PALICIOS MARIA
365 LYNNE DR
ROCKWALL, TX 75032

MARKSQUARED INVESTMENTS LLC
367 COUNTY LINE RD
ROCKWALL, TX 75032

RAMIREZ PETRA & JOSE ARTURO
384 COUNTY LINE RD
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO &
MARIA BLANCA RESENDIZ
397 CHRIS DR
ROCKWALL, TX 75032

RAMIREZ RAUL & TERESA
411 COUNTY LINE RD
ROCKWALL, TX 75032

LOZANO ISIDRO
420 COUNTY LINE RD
ROCKWALL, TX 75032

RANGELL JUAN JOSE
4427 FM 550
ROYSE CITY, TX 75189

BIG LEAGUE SPORTS ACADEMY INC
505 COUNTY LINE RD
ROCKWALL, TX 75032

LEJ PARTNERS LTD
5100 ELDORADO PKWY STE 102 # 373
MCKINNEY, TX 75070

MOSELEY CYNTHIA SUE
5100 HORIZON RD
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL
513 BASS RD
ROCKWALL, TX 75032

MARKSQUARED INVESTMENTS LLC
517 COYOTE RD
SOUTHLAKE, TX 76092

BUFFALO CREEK BUSINESS PARK LTD
5335 FM 3097
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
5508 FOREST LANE
DALLAS, TX 75230

5543 FM3097 LLC
5543 FM3097
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
5713 SECREST CT
GOLDEN, CO 80403

FLORES DAYANARA &
JAMES GLEASON
611 MEADOW DR
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR
6379 KLONDIKE RD
RIPLEY, NY 14775

HILGENFELD DONNA & ROSS
6409 ALTA OAKS DR
GARLAND, TX 75043

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

PAVON MARISOL
810 E. DOUGHERTY DR
GARLAND, TX 75041

GARCIA MARTIN
852 ROSE LANE
ROCKWALL, TX 75087

LA REN CORPORATION
C/O DON/AUDREY BLANKENSHIP
PO BOX 2155
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-022: Specific Use Permit for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Ignacio Cardenas for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.158-acre parcel of land identified as Lot 810-A0 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 147 Eva Place, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 13, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-022: Specific Use Permit for Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Blank area for handwritten reasons]

Name: [Blank]
Address: [Blank]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2021-022: Specific Use Permit for Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Because there is already enough housing for people to live here and I enjoy the peacefulness of not having to deal with loud neighbors.

Name:

Patty Ramirez

Address:

384 County Line Rd

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Know what's below.
Call before you dig.

PLOT PLAN



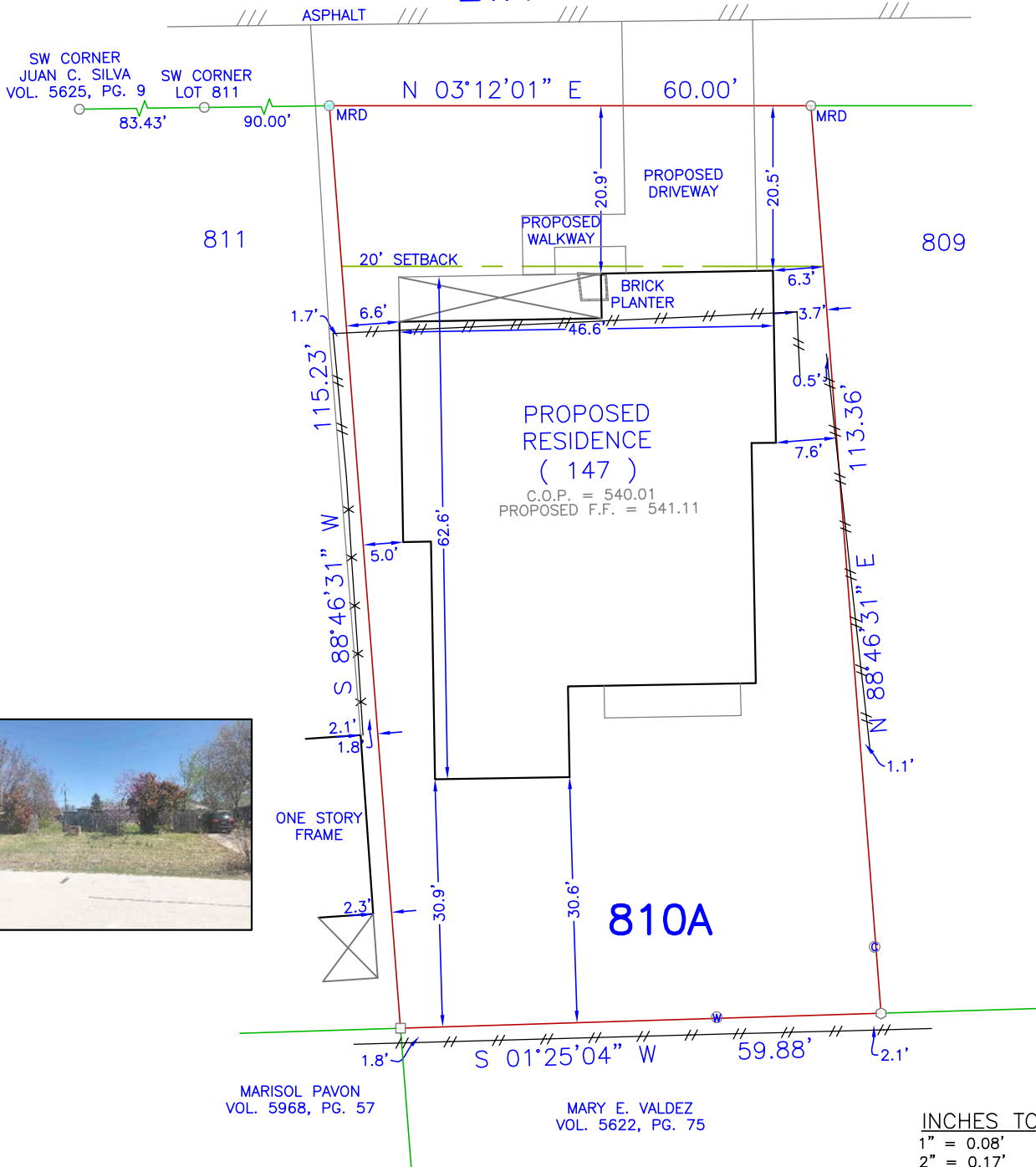
WWW.RHODESSURVEYING.COM

BRIAN S. RHODES Registered Professional Land Surveyor (972) 475-8940

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 147 EVA PLACE, in the city of ROCKWALL Texas. Lot No. 810, Block No. - of ROCKWALL EST. #2, an addition in the city of ROCKWALL, ROCKWALL COUNTY Texas according to the PLAT THEREOF RECORDED in CABINET A at SLIDE 79 of the MAP records of ROCKWALL COUNTY, TEXAS.



EVA PLACE



INCHES TO TENTHS

1" = 0.08'	7" = 0.58'
2" = 0.17'	8" = 0.67'
3" = 0.25'	9" = 0.75'
4" = 0.33'	10" = 0.83'
5" = 0.42'	11" = 0.92'
6" = 0.50'	12" = 1.00'

THIS CERTIFICATION DOES NOT TAKE INTO CONSIDERATION ADDITIONAL FACTS THAT AN ACCURATE TITLE SEARCH AND OR EXAMINATION MIGHT DISCLOSE. BEARINGS ARE BASED ON RTK READINGS OF TEXAS COORDINATE SYSTEM OF 1983 (NAD83), NORTH CENTRAL ZONE (4202) 1529 E. I-30, STE. 106 - GARLAND, TX 75043 - FIRM REGISTRATION NO. 10194052

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements.

TITLE AND ABSTRACTING WORK FURNISHED BY ICJ CONSTRUCTION

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

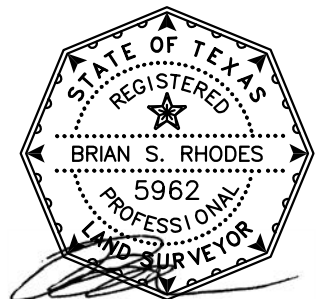
Scale: 1" = 20'
 Date: 03/29/2021
 G. F. No.: -
 Job no.: 108890
 Drawn by: CR

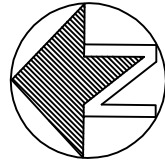
USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR ICJ CONSTRUCTION

LEGEND

WOOD FENCE	TEXT
CHAIN LINK	IMPROVEMENTS
IRON FENCE	BOUNDARY LINE
WIRE FENCE	EASEMENT SETBACK
	RESIDENCE/BUILDING
MRD	MONUMENTS OF RECORD DIGNITY
○ 1/2" IRON ROD FOUND	
○ 60D NAIL FOUND	
□ SET 'x'	
○ 1/2" RED-CAPPED IRON ROD FOUND	
○ 5/8" YELLOW-CAPPED IRON ROD FOUND	
○ PK NAIL FOUND	
○ - CABLE	○ - GUY-WIRE
○ - CLEAN OUT	○ - ELECTRIC
○ - GAS METER	○ - POWER POLE
○ - FIRE HYDRANT	○ - TELEPHONE
○ - LIGHT POLE	○ - WATER METER
○ - MANHOLE	○ - WATER VALVE
(UNLESS OTHERWISE NOTED)	





LOT 809-A

S00°05'17"E 60.00'

SET 5/8" - I.R.S

PROPERTY LINE

FND 3/8" - I.R.S

10' EASEMENT LINE

LOT 810-A

LOT 811-A

N87°49'15"E 113.33'

5' EASEMENT LINE

29.9'

21.5'

23.3'

16.9'

29.7'

Brick Construction SINGLE STORY FRAME Lot 810-A Eva Place 2,410 SF (Slab)

5' EASEMENT LINE

S87°49'15"W 115.00'

27.5'

5.5'

46.8'

4.5'

5.0'

8'-4"

20' BUILD LINE

Concrete Driveway (Driveway will not impact and/or slow the flow of water along the curb)

22.5'

PROPERTY LINE

N01°30'00"E 60.08'

P.O.B SET 5/8" - I.R.S

1/2" C.I.R.F Found Bears: S87°49'15"W 1.17'

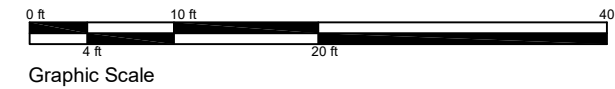
SET 5/8" - I.R.S

SURVEY PLAT DESCRIPTION:

Property located at No. LOT 810-A, of ROCKWALL LAKE PROPERTIES Development No 2, an Addition to ROCWALL COUNTY, Texas, according to the plat thereof recorded in CABINET A, SLIDE 79, of the PLATS Records of Rocwall County, Texas.

SITE PLAN

LOT 810-A EVA PLACE, ROCWALL TX

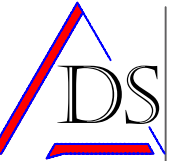


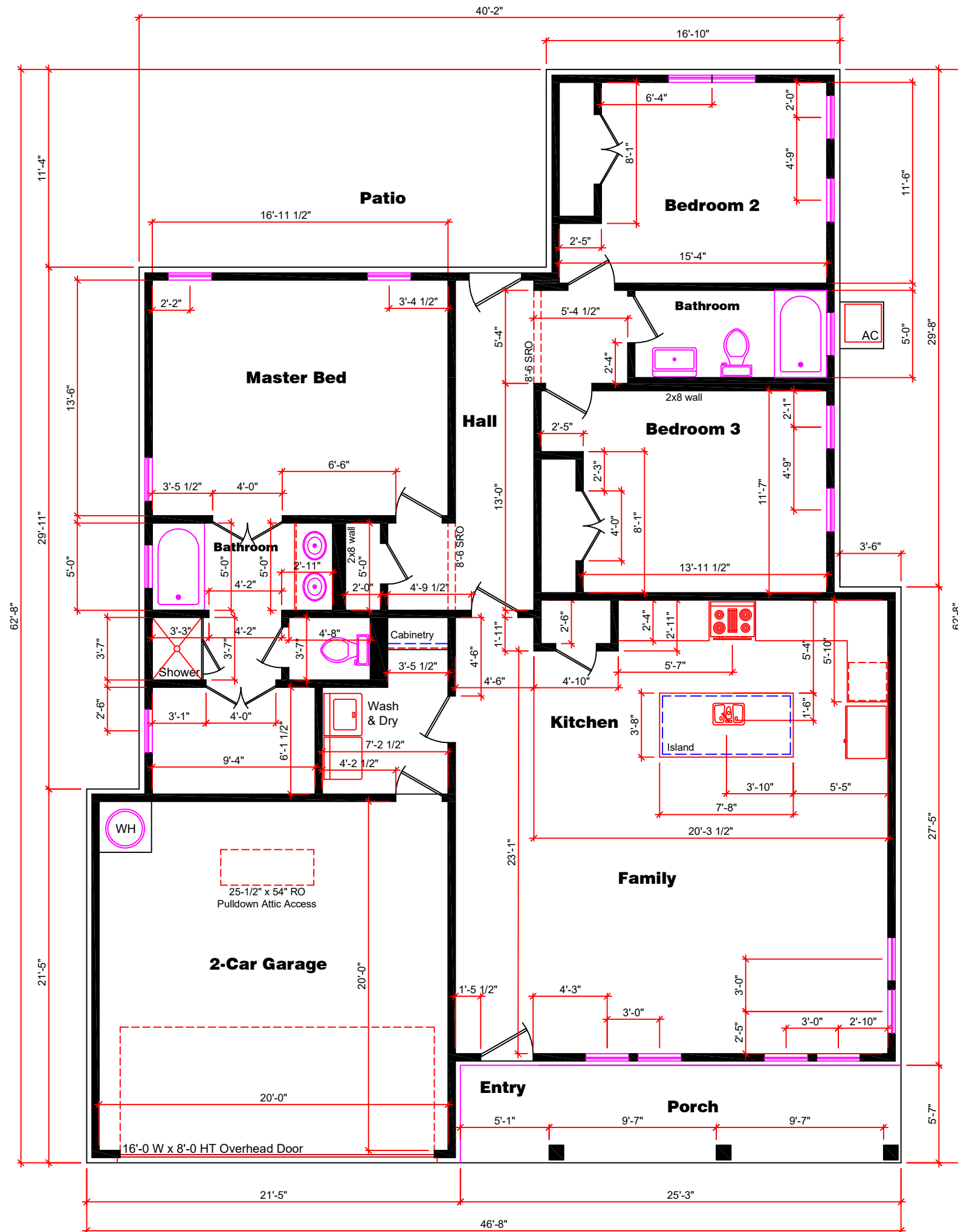
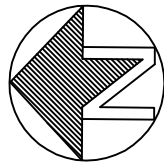
NOTES:

1. Grading and Drainage shall not negatively impact surrounding properties. Current drainage flows to EVA PLACE street.
2. Proposed drainage continue to flow to street, however, elevation needs to be raised.
3. A minimum slope of 5% is required (10% is preferred) for at least the first 3ft away from the structure on all sides.
4. As required for this property, a swale of 1% slope (Minimum) will be constructed to convey all runoff to EVA PLACE street.
5. If AC unit is located on the direction of the swale (North or South), the AC unit shall not block the water flow on the swale direction.
6. The construction of the Driveway shall not impact or slow down the flow of water along the concrete curb.

EVA PLACE (50' R.O.W.)

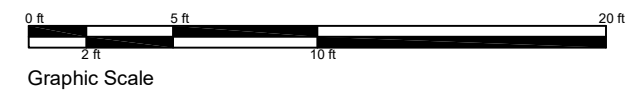
Site Plan shown with Proposed Drainage





1ST FLOOR PLAN

DIMENSIONAL LAYOUT



Drafting Solutions - Allen, TX (972) 697-6258
 DISCLAIMER: These plans are intended to provide basic construction information in site work, concrete, framing, electrical or mechanical trades necessary to complete the structure. These plans must be verified by the builder or the person in authority for the job. Any discrepancy, error or omission, if found, it is to be brought to the attention of the drafter before any construction, work or purchase is made. All structural elements, such as piers and footings, retaining and shear walls, floor and roof beams, trusses, rafters, floor and ceiling joists, columns, footings and concrete floors must be sized and designed by a registered engineer. Drafting Solutions will not be responsible for these designs and/or approvals. The limit for drafter's liability will not exceed the fee paid for plans.

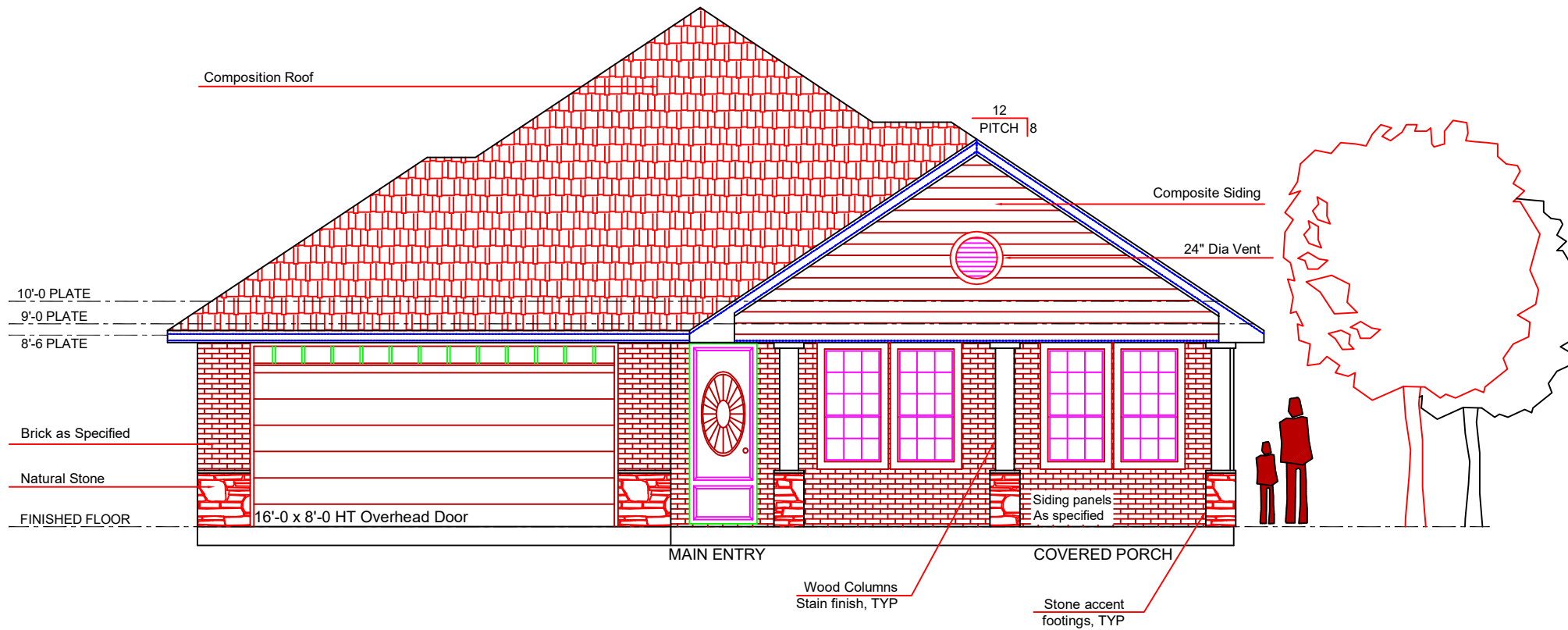


Single Family Residence
 Lot 810-A, Eva Place
 Rockwall, TX 75032

Owners: Mr. Ignacio Cardenas and Family

DRAWN BY:
 JHR
DATE:
 3-23-2019
PLAN NUMBER:

SHEET
3
OF - 8

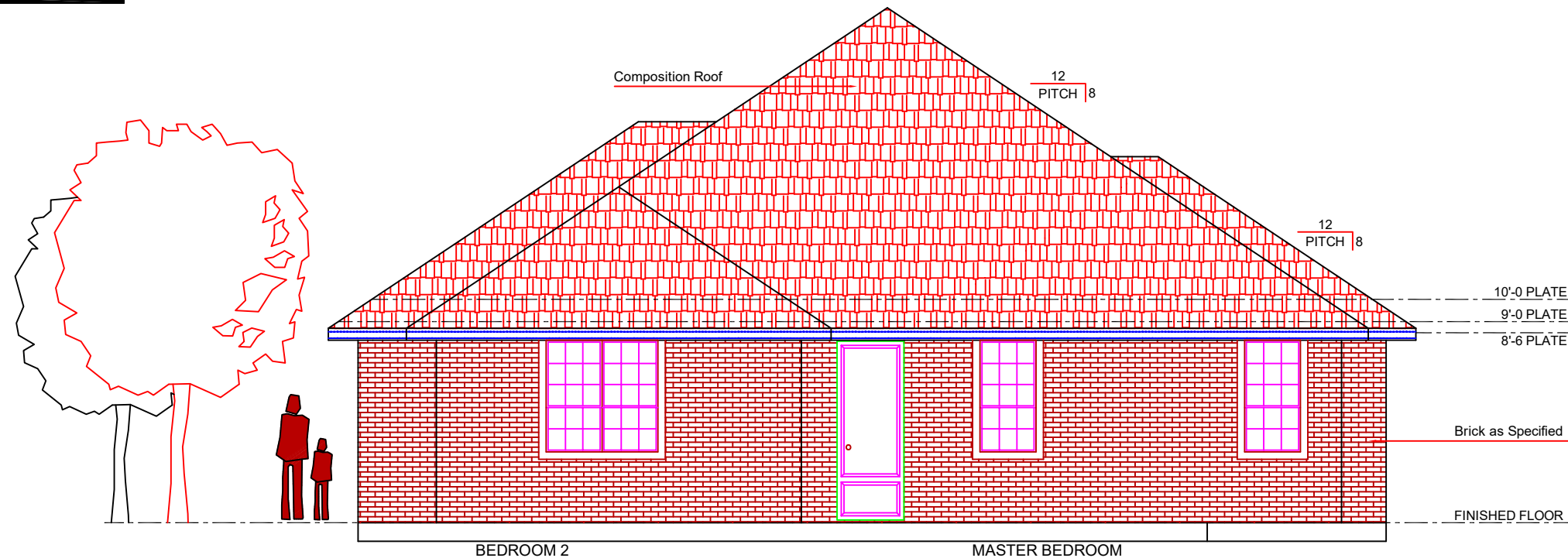


WEST (FRONT) ELEVATION

FROM EVA PLACE STREET



Graphic Scale



EAST (BACK) ELEVATION

FROM PATIO



Single Family Residence
 Lot 810-A, Eva Place
 Rockwall, TX 75032

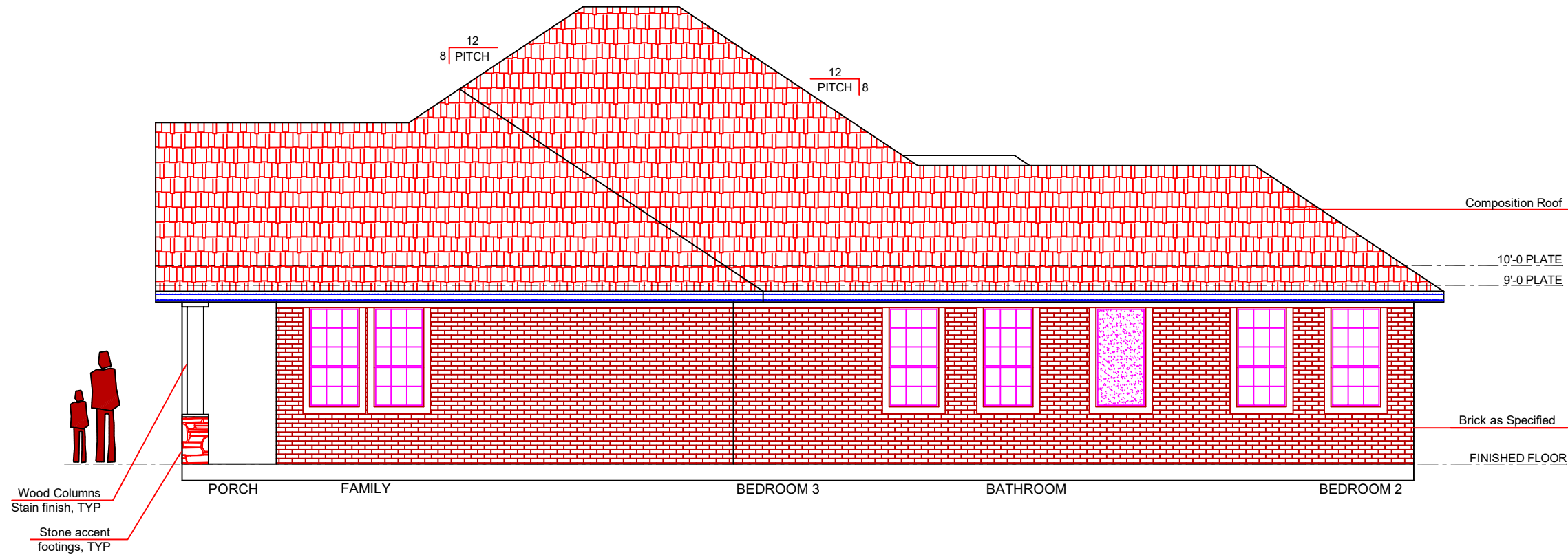
Owners: Mr. Ignacio
 Cardenas and Family

DRAWN BY:
 JHR

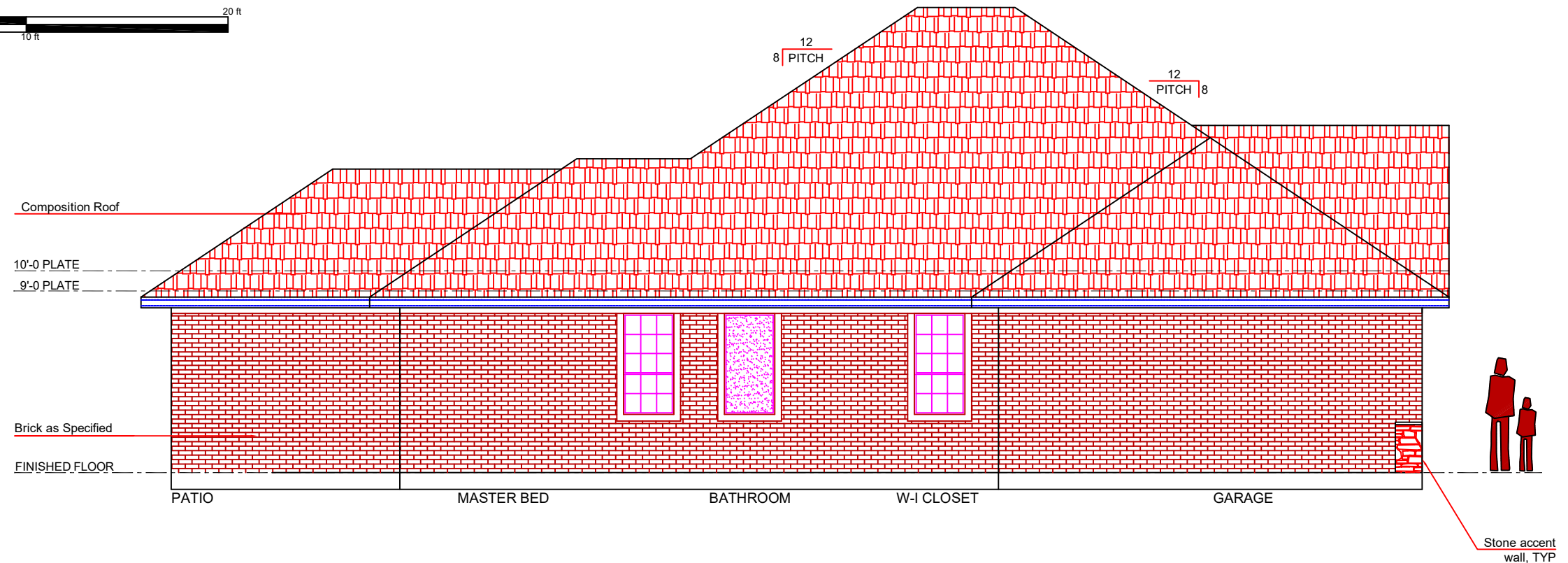
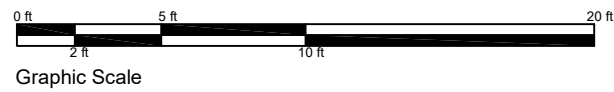
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 3-23-2019

PLAN NUMBER:

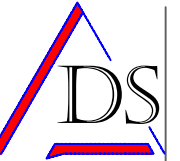
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SOUTH (RIGHT) ELEVATION



NORTH (LEFT) ELEVATION

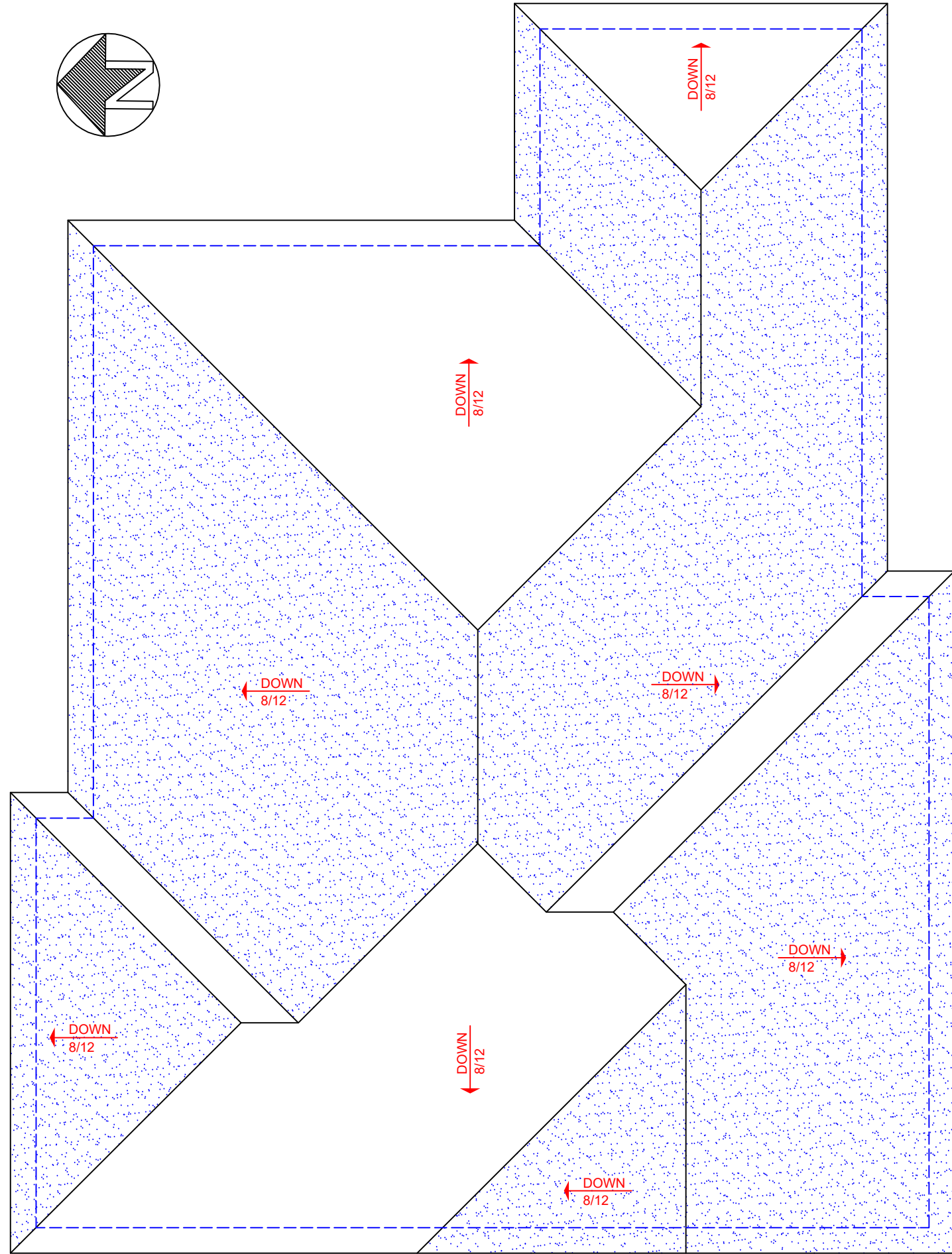
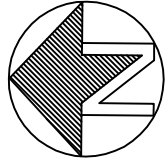


Single Family Residence
 Lot 810-A, Eva Place
 Rockwall, TX 75032

Owners: Mr. Ignacio
 Cardenas and Family

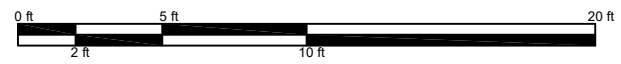
DRAWN BY:
 JHR
 DATE:
 3-23-2019
 PLAN NUMBER:

SHEET
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 OF - 8



ROOF PLAN

COMPOSITION ROOF SHINGLES



Graphic Scale

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Single Family Residence
Lot 810-A, Eva Place
Rockwall, TX 75032

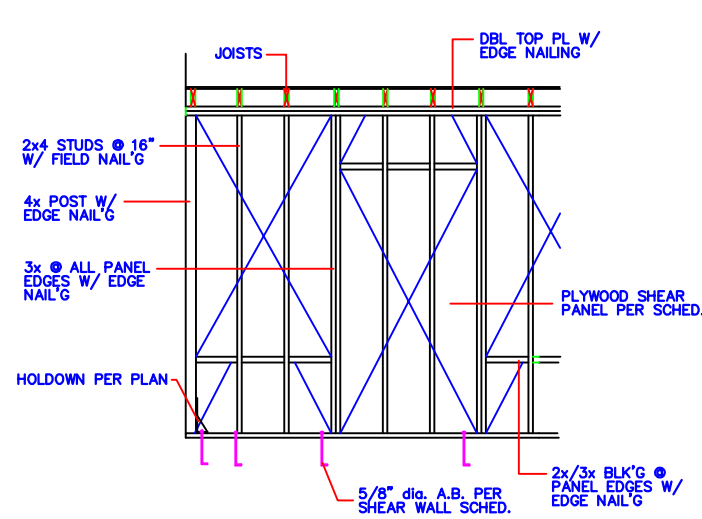
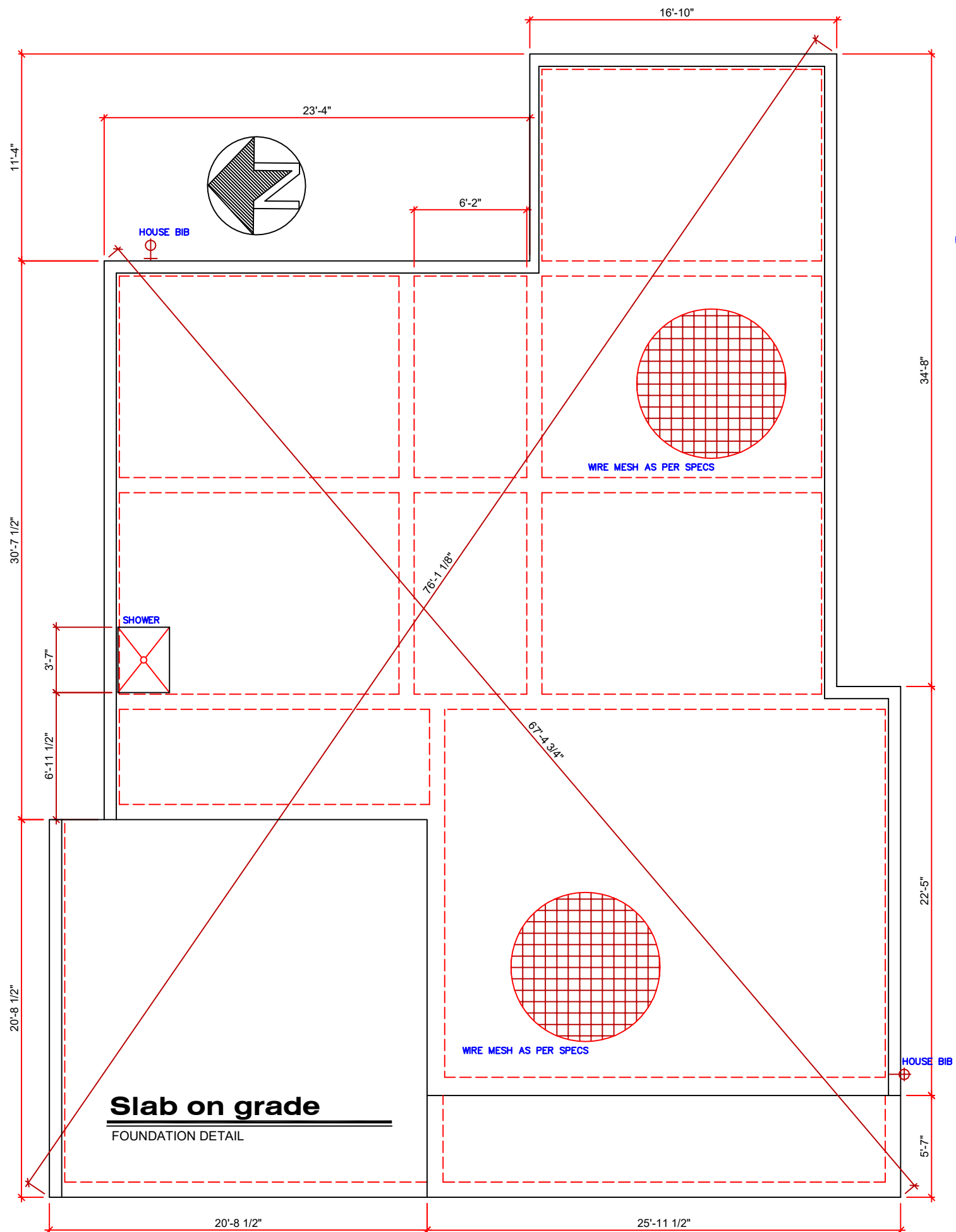
Owners: Mr. Ignacio
Cardenas and Family

DRAWN BY:
JHR

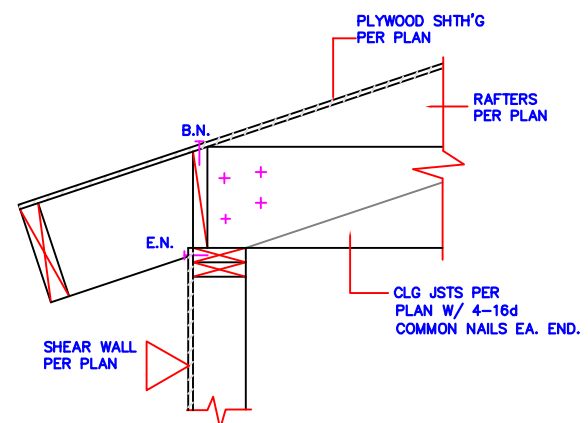
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3-23-2019

PLAN NUMBER:

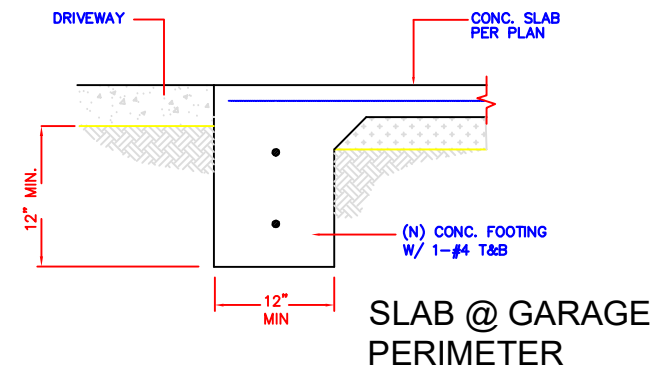
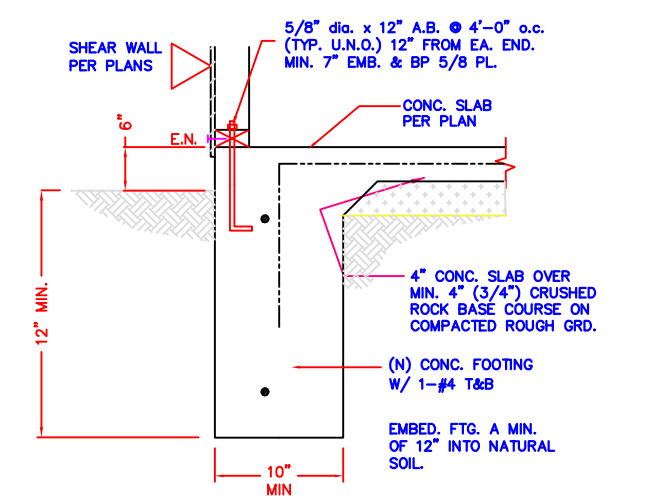
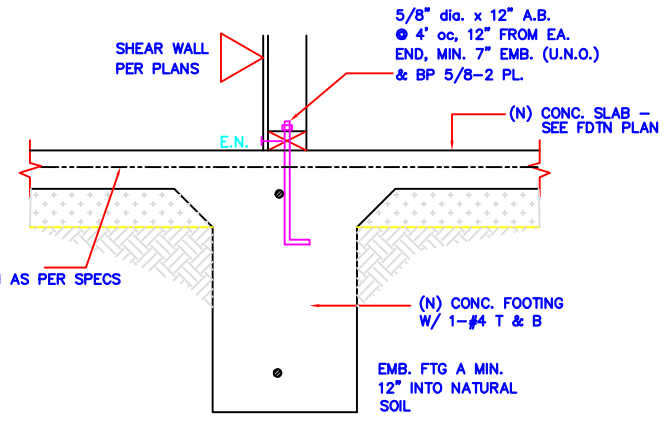
SHEET
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Wall Detail



Roof conn. detail



Details - Concrete Slab

IMPORTANT FOUNDATION & CONCRETE NOTES:

1. These foundation details cover a Conventional Rebar Slab Foundation (Regionally Accepted Practices / IRC 2015 Code) - TYPE "C" Foundation from the Dallas, Texas area office of the US Department of Housing and Urban Development.
2. These foundation notes and details are not applicable when a post-tensioned slab is specified. Please refer to the Engineer's notes and details, if applicable.
3. Provide a min. of 4" sand fill except in areas with a high water table. Where a high water table occurs use gravel, crushed stone or comparable material.
4. All beams shall penetrate a min. of 6" into undisturbed soils.
5. No "dead end" beams shall be allowed.
6. All beam and slab reinforcements to extend within 1-1/2" of exterior forms.
7. All concrete shall have a 28-day ultimate compressive strength of 3,000 psi.
8. Beam reinforcing shall be tied and supported every 48" or less.
9. Lap all bar reinforcing 40 diameters. That equals 15" with 3/8" dia rebars.
10. This foundation detail sheet is provided only as a reference. Drafting Solutions provides absolutely no warranty. Owner takes responsibility to use these at his/her own risk. It is strongly advised that a qualified licensed Professional Engineer review this foundation design and the soils report to assure this foundation plan is correct for the soils it is to be built on.

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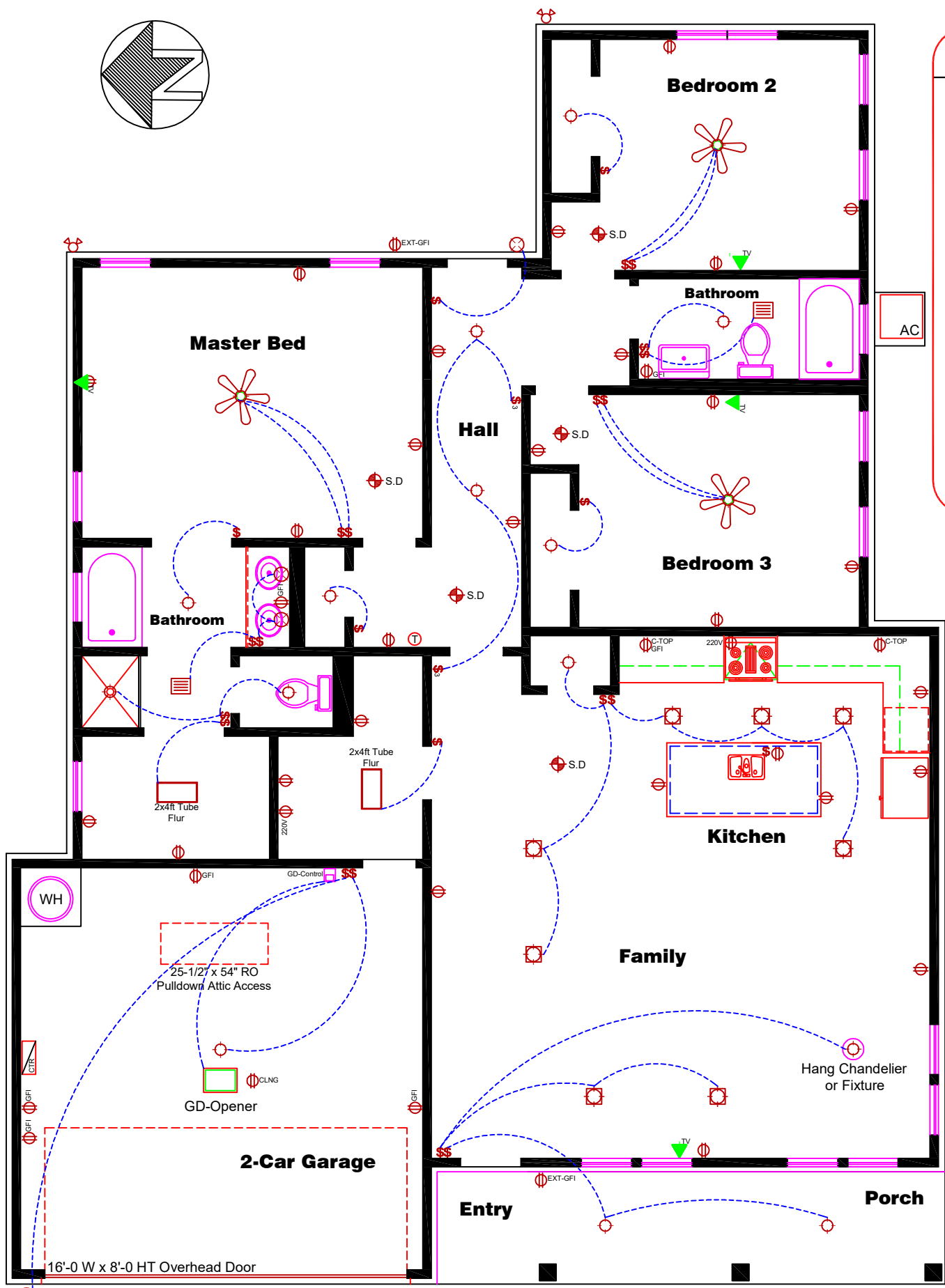
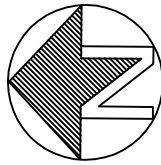


Single Family Residence
Lot 810-A, Eva Place
Rockwall, TX 75032

Owners: Mr. Ignacio
Cardenas and Family

DRAWN BY:
 JHR
DATE:
 3-23-2019
PLAN NUMBER:

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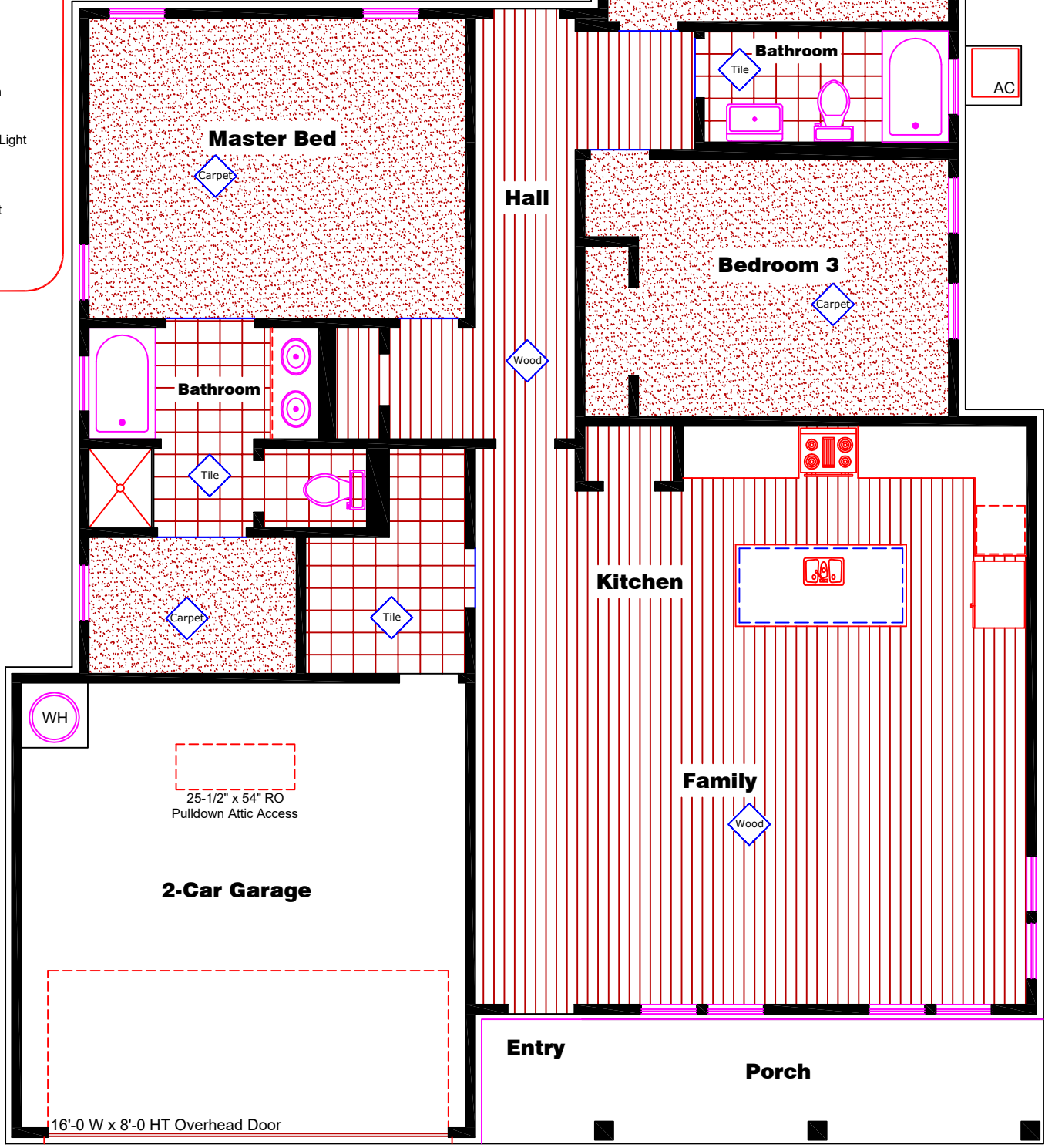


ELECTRICAL LEGEND

	Duplex
	Ceiling Duplex
	Countertop Duplex
	Floor Duplex
	Gnd Flt Circ Int Duplex
	Phone Jack
	Cable TV
	220 Volt Outlet
	Thermostat
	Smoke Detector
	Switch
	Three-Way Switch
	Ceiling Light
	Recessed Ceiling Light
	Wall-hung Light
	Vent
	Landscaping Light
	Floodlight
	Control Box

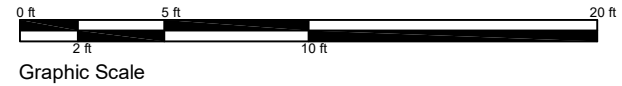
Electrical Diagram

SCALE 1/4" = 1'-0"



Floor Finishings

SCALE 1/4" = 1'-0"



Drafting Solutions - Allen, TX (972) 697-6258
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Single Family Residence
 Lot 810-A, Eva Place
 Rockwall, TX 75032

Owners: Mr. Ignacio Cardenas and Family

DRAWN BY:
 JHR
DATE:
 3-23-2019
PLAN NUMBER:

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Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
115 Eva Place	Single-Family Home	2008	1,529	N/A	Vinyl Siding
124 Eva Place	Single-Family Home	1973	980	150	Vinyl Siding
135 Eva Place	Single-Family Home	1985	1,568	462	Vinyl Siding
146 Eva Place	Single-Family Home	1993	1,368	N/A	Vinyl Siding
147 Eva Place	Subject Property		RCAD	Vacant	
154 Eva Place	Accessory Building			500	Wood
159 Eva Place	Single-Family Home		1,250	N/A	Vinyl Siding
162 Eva Place	Single-Family Home	2008	1,729	64	Brick
172 Eva Place	Single-Family Home	1985	980	150	Vinyl Siding
173 Eva Place	Vacant				
186 Eva Place	Single-Family Home	2007	1,058	N/A	Stucco
187 Eva Place	Single-Family Home	1985	672	N/A	Vinyl Siding
197 Eva Place	Vacant				
198 Eva Place	Single-Family Home	1977	980	64	Vinyl Siding
209 Eva Place	Vacant				
214 Eva Place	Single-Family Home	1964	600	N/A	Wood
228 Eva Place	Single-Family Home	2006	650	450	Brick
109 Diana	Single-Family Home	1984	1,008	N/A	Wood Siding
Averages:		1990	1,106	263	



109 Diana Drive



115 Eva Place



124 Eva Place



135 Eva Place



146 Eva Place



159 Eva Place



162 Eva Place



172 Eva Place



186 Eva Place



187 Eva Place



198 Eva Place



214 Eva Place



228 Eva Place

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.158-ACRE TRACT OF LAND, IDENTIFIED AS LOT 810-A0, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Ignacio Cardenas for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.158-acre tract of land identified as Lot 810-A0, Rockwall Lake Properties Development #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 147 Eva Place, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2TH DAY OF AUGUST, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

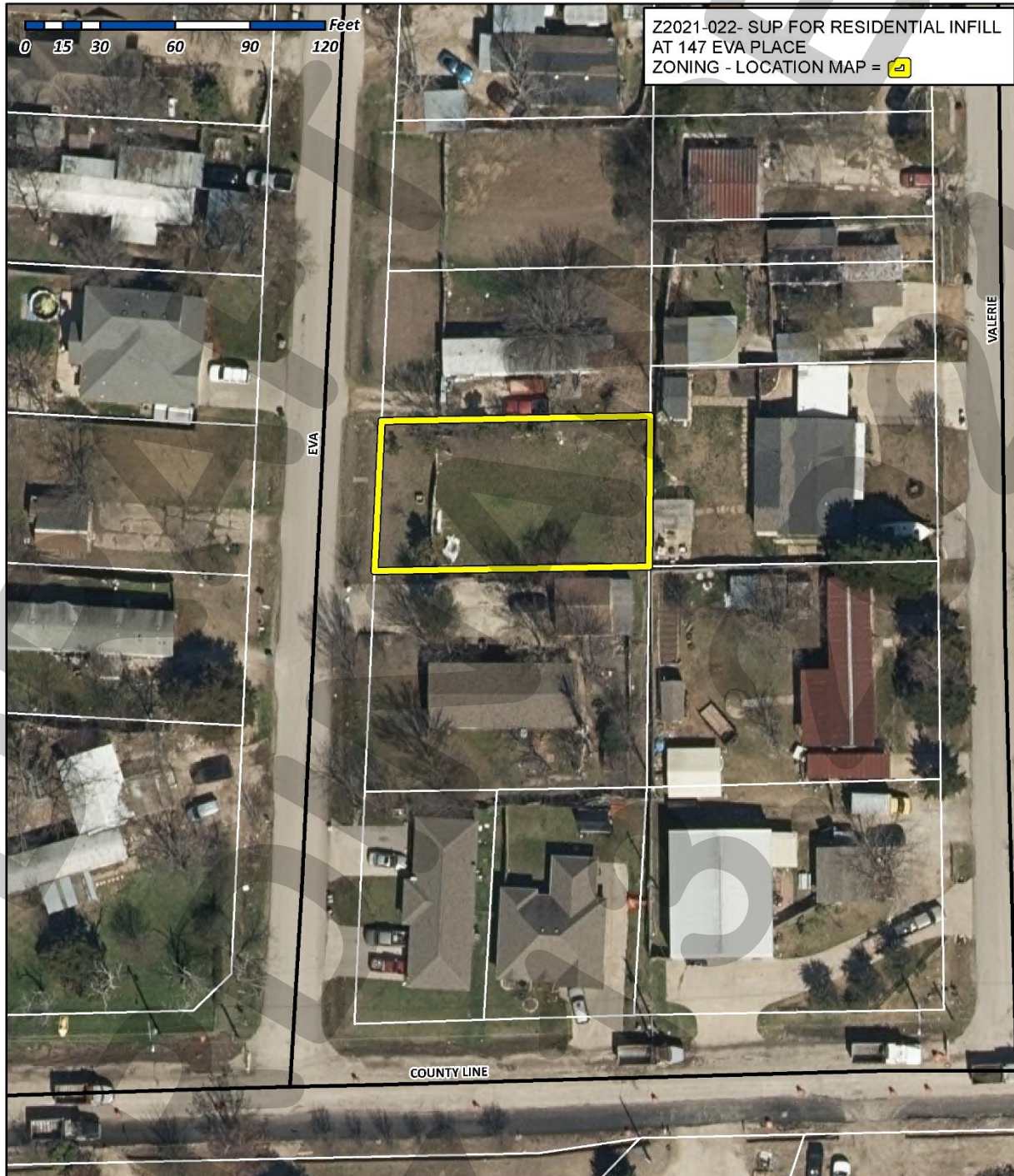
1st Reading: July 19, 2021

2nd Reading: August 2, 2021

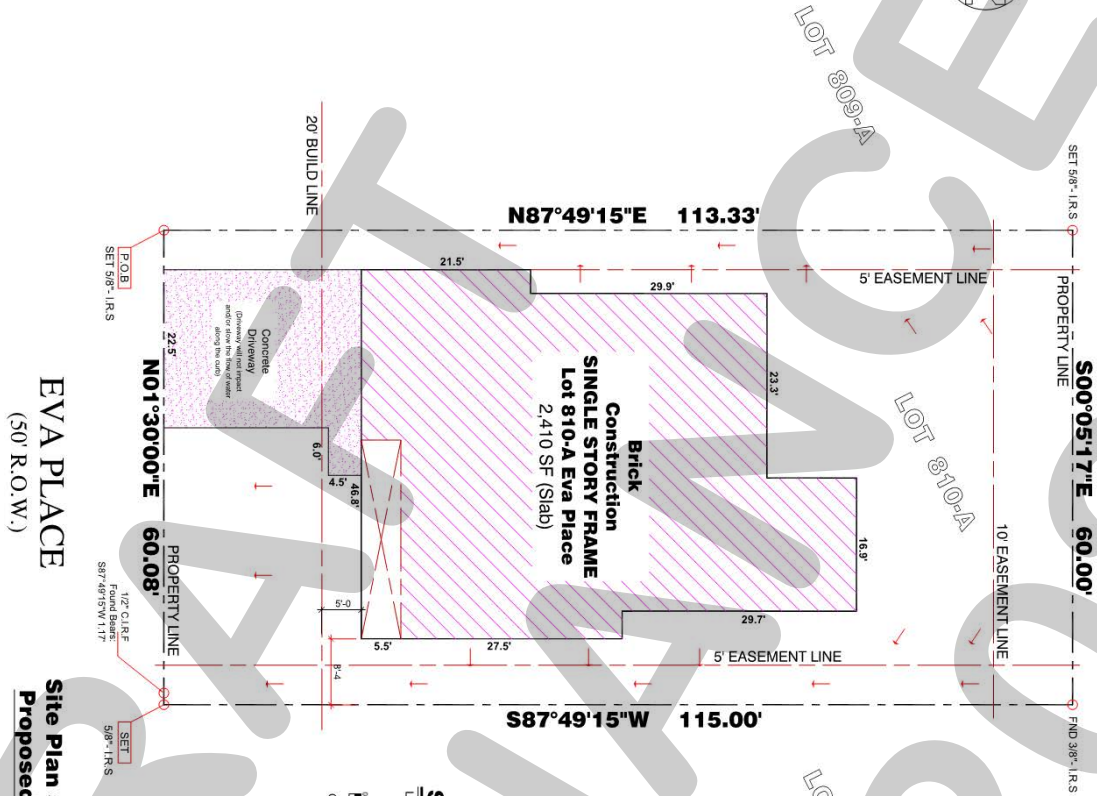
Exhibit 'A'
Location Map

Address: 147 Eva Place

Legal Description: Lot 810-A0, Rockwall Lake Estates #2 Addition



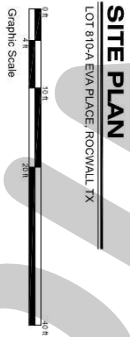
**Exhibit 'B':
Residential Plot Plan**



EVA PLACE
(50' R.O.W.)

**Site Plan shown with
Proposed Drainage**

SURVEY PLAT DESCRIPTION:
Property located at No. LOT 810-A, of ROCKWALL LAKE PROPERTIES Development No 2, an Addition to ROCKWALL COUNTY, Texas, according to the plat thereof recorded in CABINET A, SLIDE 79, of the PLATS Records of Rockwall County, Texas.

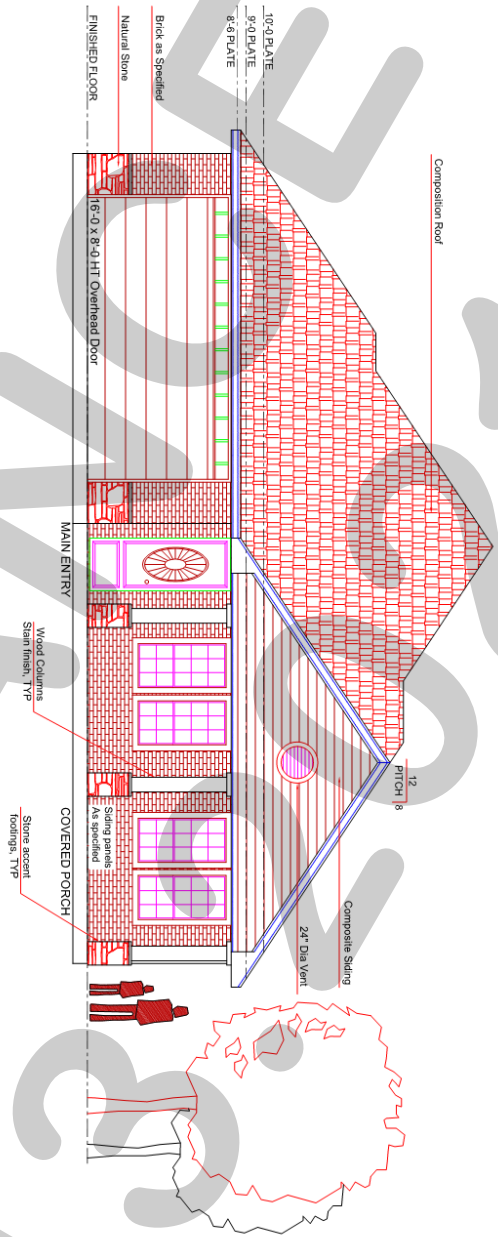


- NOTES:**
- Grading and Drainage shall not negatively impact surrounding properties. Current drainage flows to EVA PLACE street.
 - Proposed drainage continue to flow to street, however, elevation needs to be raised.
 - A minimum slope of 5% is required (10% is preferred) for at least the first 8ft away from the structure on all sides.
 - As required for this property, a swale of 1% slope (minimum) will be constructed to carry all runoff to EVA PLACE street.
 - If AC unit is located on the direction of the swale (North or South), the AC unit shall not block the water flow on the swale direction.
 - The configuration of the Driveway shall not impact or slow down the flow of water along the concrete curb.

**Exhibit 'C':
Building Elevations**

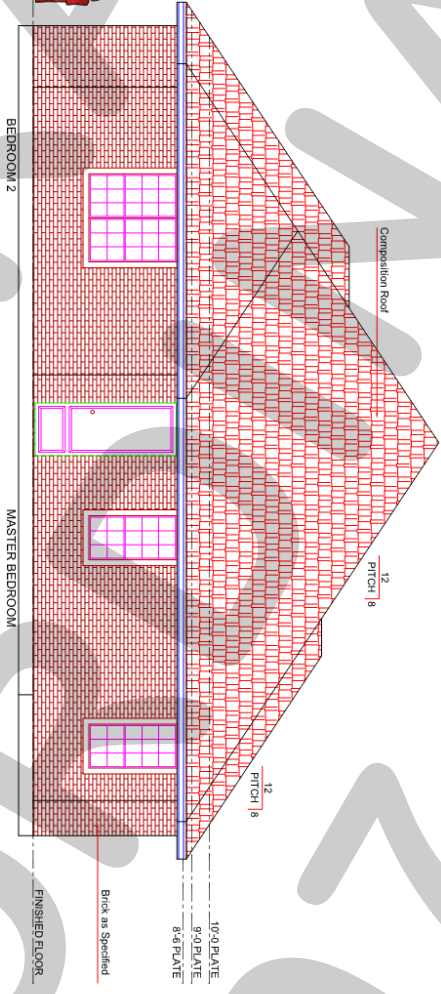
WEST (FRONT) ELEVATION

FROM EVA PLACE STREET

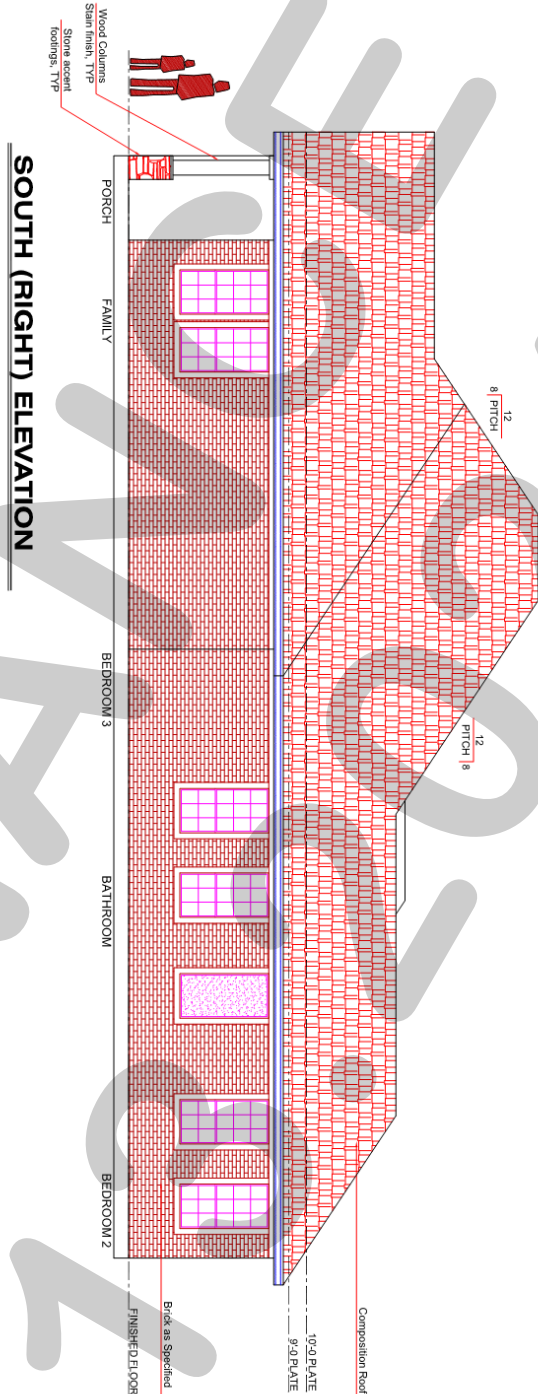


EAST (BACK) ELEVATION

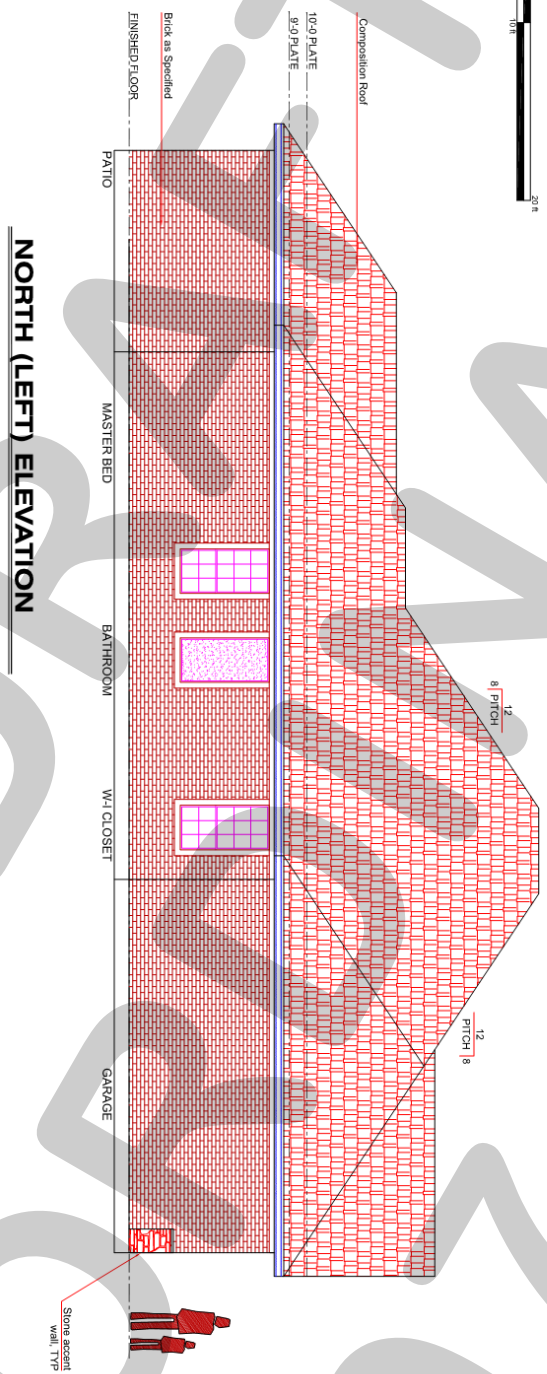
FROM PATIO



**Exhibit 'C':
Building Elevations**



SOUTH (RIGHT) ELEVATION



NORTH (LEFT) ELEVATION



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 13, 2021
APPLICANT: Don Holamon
CASE NUMBER: Z2021-023; *Specific Use Permit for an Accessory Building at 3221 Diamond Way Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Don Holamon for the approval of a Specific Use Permit (SUP) for an *Accessory Building* on a 1.50-acre parcel of land identified as Lot 12, Block A, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 3221 Diamond Way Drive, and take any action necessary.

BACKGROUND

On October 21, 1996, the City Council approved a preliminary plat for the Sterling Farms Subdivision [Case No. PZ1996-072-01]. On March 17, 1997, the City Council approved a final plat for the Sterling Farms Subdivision [Case No. PZ1996-079-01]. At the time of the preliminary plat and final plat approval the Sterling Farms Subdivision was outside the City's corporate limits, and was approved in accordance with an *Interlocal Cooperation Agreement* between Rockwall County and the City of Rockwall concerning the approval of subdivision plats. The approval of this subdivision plat established the subject property as Lot 12, Block A, Sterling Farms Addition. The subject property was annexed by the City Council on July 21, 1997 by *Ordinance No. 97-14* [Case No. A1997-001]. On April 1, 2002, the City Council approved a zoning case [Case No. PZ2001-106-01] rezoning the subject property to Single-Family Estate (SFE) District from Agricultural (AG) District. On May 6, 2002, the City Council approved a subsequent zoning case [Case No. PZ2002-019-01] rezoning the subject property to Single-Family Estate 1.5 (SFE-1.5) District from Single-Family Estate (SFE) District. According to the Rockwall County Appraisal District (RCAD), a 1,830 SF single-family home was constructed on the subject property in 1997, a 530 SF attached carport constructed in 2003, a 640 SF storage accessory building was constructed in 2013, and a 450 SF detached carport was constructed in 2006. These structures currently exist on the subject property, and no additional changes have been made.

PURPOSE

The applicant -- *Don Holamon* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of an accessory building that exceeds the maximum number of accessory building permitted on a subject property as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 3221 Diamond Way Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Diamond Way Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are five (5) parcels of land developed with single-family homes, that are situated within the Sterling Farms Estates Subdivision, and zoned Single-Family Estate 1.5 (SFE-1.5) District. Beyond this is SH-276, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are two (2) large vacant tracts of land zoned Planned Development 82 (PD-82) for Single-Family 10 (SF-10) District land uses (*i.e. these tracts are future phases of the Terracina Estates Subdivision*). Beyond this is Shannon Elementary, which is zoned Planned Development District 64 (PD-64).

East: Directly east of the subject property are six (6) parcels of land developed with single-family homes, that are situated within the Sterling Farms Estates Subdivision, and zoned for Single-Family Estate 1.5 (SFE-1.5) District. Beyond this is the Timber Creek Estates Subdivision, which consists of 235 lots zoned Single-Family 10 (SF-10) District.

West: Directly west of the subject property are nine (9) parcels of land developed with single-family homes, that are situated within the Sterling Farms Subdivision, and zoned Single-Family Estate 1.5 (SFE-1.5) District. Beyond this is S. FM-549, which is identified as a *TXDOT4D* (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Lofland Farms Phase 5B Subdivision, which consists of 75 single-family homes.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, survey, residential plot plan, building elevations, and a building specification sheet requesting to permit a 12-foot by 20-foot (*or 240 SF*) accessory building. The proposed elevations indicate the façade of the accessory building will be metal. Staff should point out that this material is not characteristic of the primary structure, which is composed primarily of brick. The proposed accessory structure will have a roof pitch of 3:12, which will be constructed metal *R-Panel*. The accessory structure will be situated near the rear of the subject property approximately 151-feet from the rear (*or southern*) property line, 78-feet from the east side yard, and 63-feet from the west side yard. In addition, the proposed structure will be situated ten (10) feet from the existing accessory building.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family Estate 1.5 (SFE-1.5) District allows a total of two (2) accessory structures. For accessory buildings, the Single-Family Estate 1.5 (SFE-1.5) District allows either one (1) accessory building at 400 SF and one (1) detached garage at 625 SF, or a single accessory building at 1,000 SF. In addition, accessory buildings are limited to a maximum height of 15-feet and a minimum roof pitch of 3:12. The setbacks for accessory structures in a Single-Family Estate 1.5 (SFE-1.5) District are ten (10) feet from the rear property line and 25-feet from the side yard property line. Accessory buildings are also required to have a minimum of ten (10) feet of separation from any other building or structure. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)." In addition, the section states that "(a)ll accessory buildings that are not portable accessory buildings require a permanent concrete foundation."

STAFF ANALYSIS

In this case, the applicant's request generally conforms with the density and dimensional requirements for accessory buildings; however, the accessory building does not adhere to the maximum number of accessory structures allowed on a property. According to Section 07.04, *Accessory Structure Development Standards*, of the Unified Development Code (UDC), "(i)f more than one (1) accessory building is proposed or if an accessory building, 625 SF or less, is existing then the maximum accessory building that can be constructed is 400 SF ... (i)f there is an existing accessory building greater than 625 SF no additional accessory building or structures are permitted." In this case, the Rockwall County Appraisal District (RCAD) shows that the subject property has an existing accessory building that total 640 SF, and would preclude the subject property from constructing a second accessory building. In addition, properties in the Single-Family Estate 1.5 (SFE-1.5) District are permitted to have a maximum of two (2) accessory buildings. In this case the subject property has three (3) existing accessory structures (*i.e. two [2] carports and an accessory building*). The proposed accessory building would be the fourth accessory structure proposed on the subject property. Finally, the proposed accessory building does not appear to be architecturally compatible with the primary structure. Based on the proposed plans the applicant is requesting a Specific Use

Permit (SUP) to allow for an accessory building that exceeds the maximum number of accessory buildings permitted on the subject property. Staff has performed a review of the homes in the surrounding subdivision using aerial imagery (*a total of 47 single-family homes that are in the Sterling Farms Subdivision*), and determined that -- *while the accessory building is of a similar size to other accessory buildings in the area* -- none of the properties have four (4) accessory structures. Staff should note that 34 of the 47 homes surveyed had accessory structures, with the average number of accessory structures per lot being 1.7. With all of this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On June 29, 2021, staff mailed 19 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Fontanna Ranch, Lofland Farms, and Timber Creek Homeowner's Associations (HOAs), which are the only HOA/Neighborhood Organizations that are within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for an accessory building that exceeds the maximum permissible number of accessory structures on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The Accessory Building shall generally conform to the concept plan and the conceptual building elevations depicted in Exhibit 'B & 'C' of this ordinance; and
 - (b) The *Accessory Building* shall not exceed a maximum size of 240 SF; and
 - (c) The *Accessory Building* shall not exceed a maximum height of 15-feet; and
 - (d) The Subject Property shall not have more than four (4) accessory structures.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-023

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 3221 Diamond Way Dr.

SUBDIVISION Sterling Farms Addition LOT 12 BLOCK A

GENERAL LOCATION Hwy 276 & FM 3549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	<u>SFE-1.5</u>	CURRENT USE	<u>Residential</u>
PROPOSED ZONING	<u>No Change</u>	PROPOSED USE	<u>SUP to Add 12'x 20' Storage Bldg.</u>
ACREAGE	<u>1.5</u>	LOTS [CURRENT]	<u>1</u>
		LOTS [PROPOSED]	<u>1</u>

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Don Holamon</u>	<input type="checkbox"/> APPLICANT	
CONTACT PERSON	<u>Don Holamon</u>	CONTACT PERSON	
ADDRESS	<u>3221 Diamond Way Dr.</u>	ADDRESS	
CITY, STATE & ZIP	<u>Rockwall, TX 75032</u>	CITY, STATE & ZIP	
PHONE	<u>214-543-8584</u>	PHONE	
E-MAIL	<u>donandteriholamon@hotmail.com</u>	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

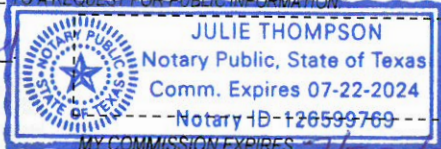
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Don Holamon [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

¹ I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 207.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF June, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF June, 2021

OWNER'S SIGNATURE

Don Holamon
Julie Thompson



MY COMMISSION EXPIRES 7/22/2024



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

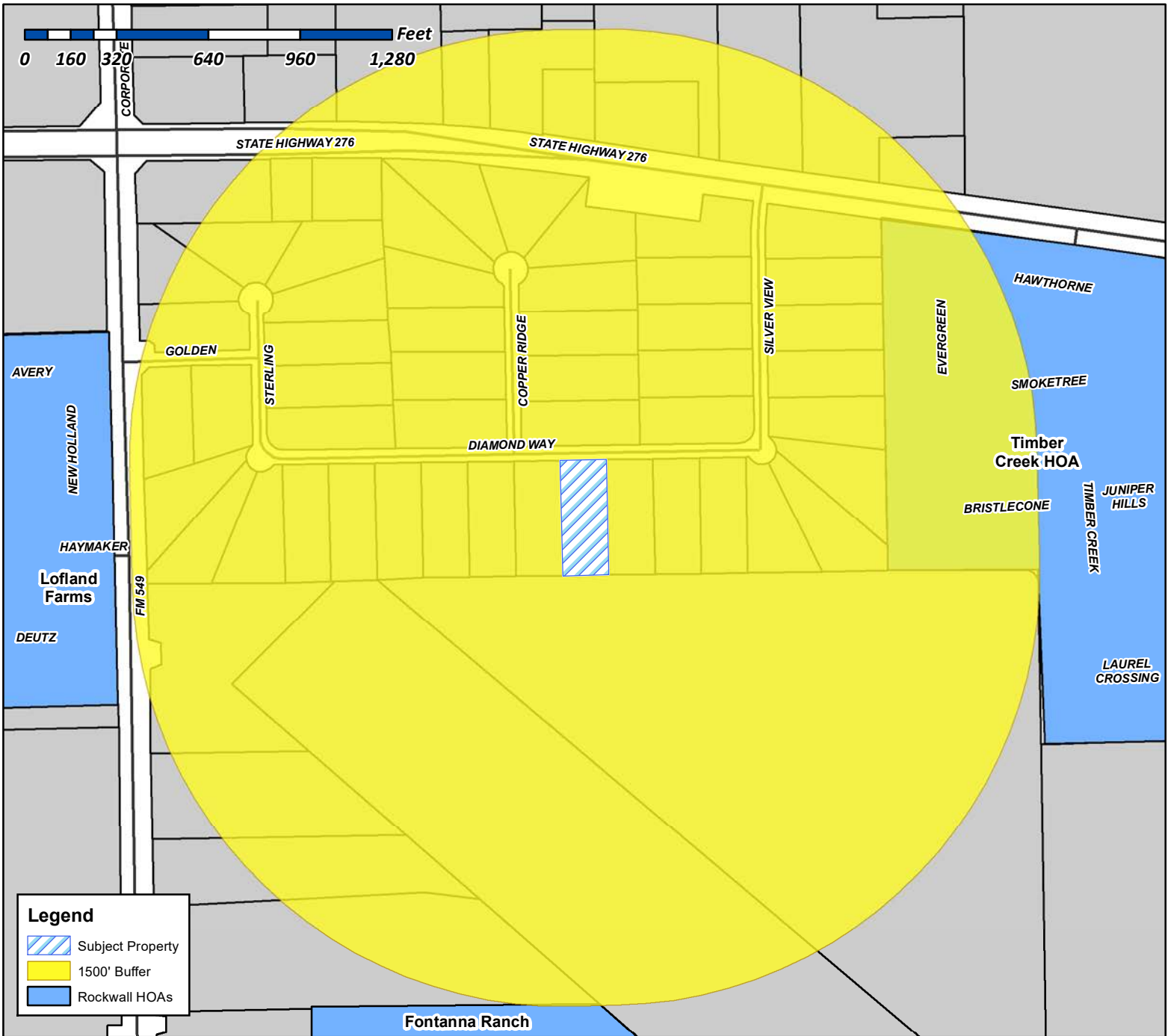




City of Rockwall

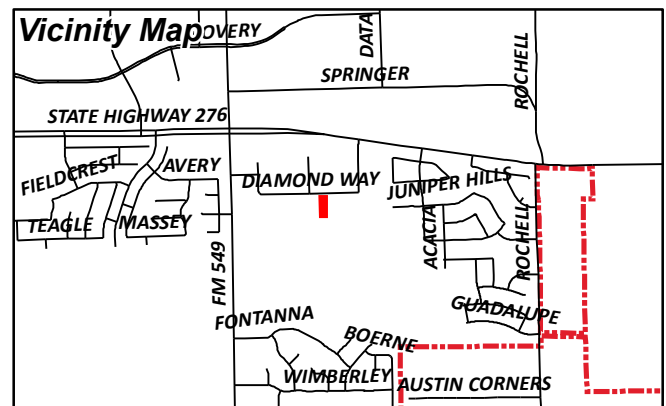
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2021-023
Case Name: SUP for an Accessory Building
Case Type: Zoning
Zoning: Single-Family Estates 1.5 (SFE-1.5)
Case Address: 3221 Diamond Way Drive

Date Created: 6/19/2021
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Monday, June 28, 2021 4:54 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-023]
Attachments: Public Notice (06.28.2021).pdf; HOA Map Z2021-023.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *June 25, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, July 13, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, July 19, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-023 SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by Don Holamon for the approval of a *Specific Use Permit (SUP)* for an *Accessory Building* on a 1.50-acre parcel of land identified as Lot 12, Block A, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 3221 Diamond Way Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

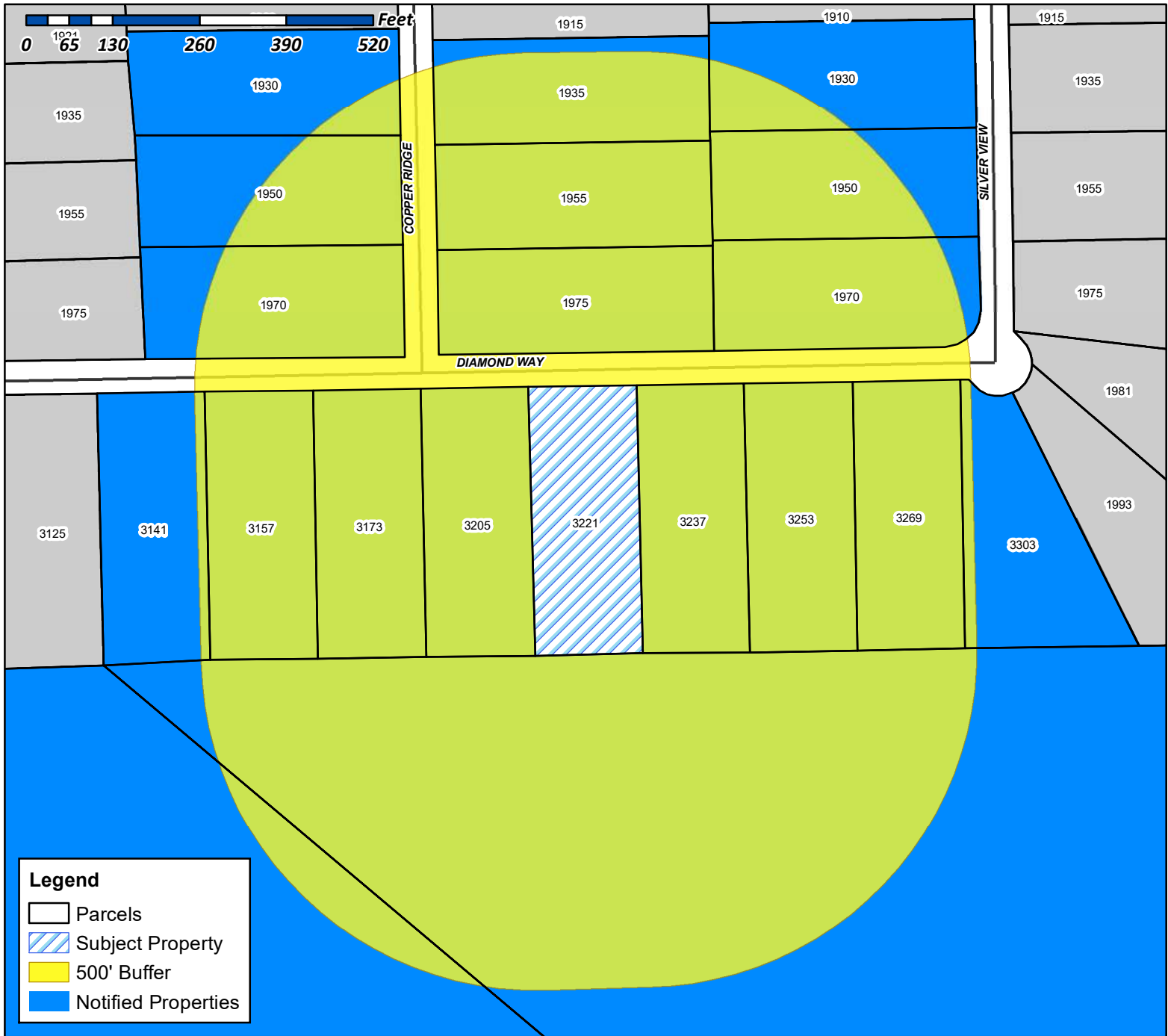
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City of Rockwall

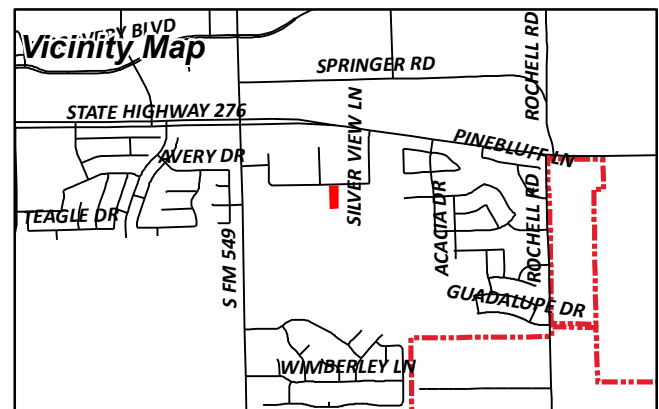
Planning & Zoning Department
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Rockwall, Texas 75087
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Case Number: Z2021-023
Case Name: SUP for an Accessory Building
Case Type: Zoning
Zoning: Single-Family Estates 1.5 (SFE-1.5)
Case Address: 3221 Diamond Way Drive

Date Created: 6/19/2021
 For Questions on this Case Call (972) 771-7745



BLOOMFIELD HOMES LP
1050 E STATE HWY 114 EAST SUITE 210
SOUTHLAKE, TX 76092

USSERY DAVID & PAMELA
1930 COPPER RIDGE CIR
ROCKWALL, TX 75032

REYNOLDS CHRISTOPHER & RENA
1930 SILVER VIEW LN
ROCKWALL, TX 75032

DIAZ JORGE L & LINDA A
1935 COPPER RIDGE CIR
ROCKWALL, TX 75032

SCOTT MICHAEL C & DOROTHY
1950 COPPER RIDGE CIR
ROCKWALL, TX 75032

AVILA HUMBERTO J II
1950 SILVER VIEW LN
ROCKWALL, TX 75032

RISHER CONNIE LYNN
1955 COPPER RIDGE CIR
ROCKWALL, TX 75032

WOMMACK KEVIN DALE AND
PAMELA MCCOLLUM
1970 COPPER RIDGE CIR
ROCKWALL, TX 75032

STEWART TOMMY & ANNETT
1970 SILVER VIEW LANE
ROCKWALL, TX 75032

HELMS DEBBIE B
1975 COPPER RIDGE CIR
ROCKWALL, TX 75032

GUZMAN GOMEZ SUSAN W &
ELVIN OMAR GUZMAN GOMEZ
3141 DIAMOND WAY DR
ROCKWALL, TX 75032

COLEMAN PAMELA A
3157 DIAMOND WAY DR
ROCKWALL, TX 75032

CHAPMAN JERREL & MELBA
3173 DIAMOND WAY DR
ROCKWALL, TX 75032

MILLER VICKI S
3205 DIAMOND WAY DRIVE
ROCKWALL, TX 75032

HOLAMON TERI D AND DON P
3221 DIAMOND WAY DR
ROCKWALL, TX 75032

CAIN EULIN K II & ANITA J
3237 DIAMOND WAY DR
ROCKWALL, TX 75032

DURKEE DAVID M
3253 DIAMOND WAY DRIVE
ROCKWALL, TX 75032

HUTTON RENELL AND JAMES
3269 DIAMOND WAY DR
ROCKWALL, TX 75032

HOGUE THOMAS
3303 DIAMOND WAY DRIVE
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-023: Specific Use Permit for an Accessory Building

Hold a public hearing to discuss and consider a request by Don Holamon for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 1.50-acre parcel of land identified as Lot 12, Block A, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 3221 Diamond Way Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 13, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-023: Specific Use Permit for an Accessory Building

Please place a check mark on the appropriate line below:

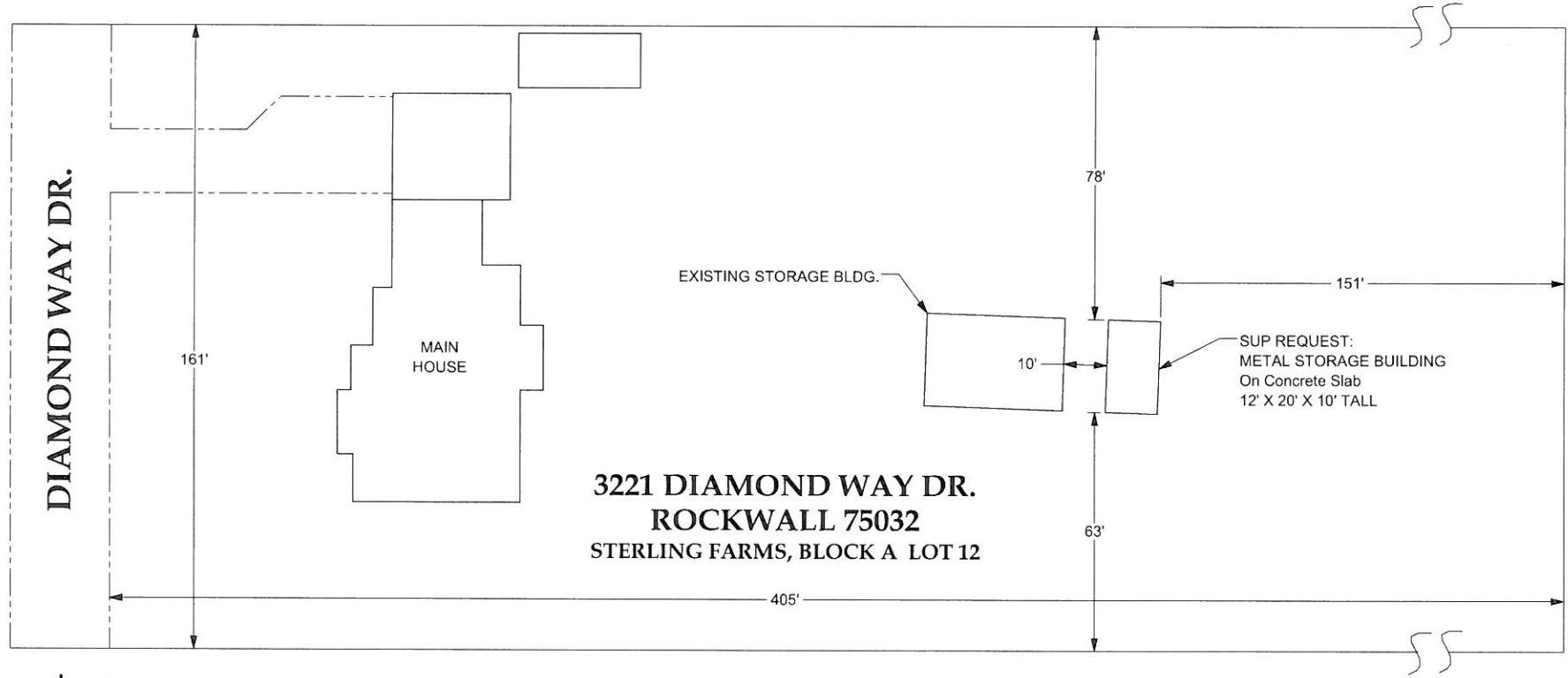
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area for reasons]

Name: [Redacted]
Address: [Redacted]

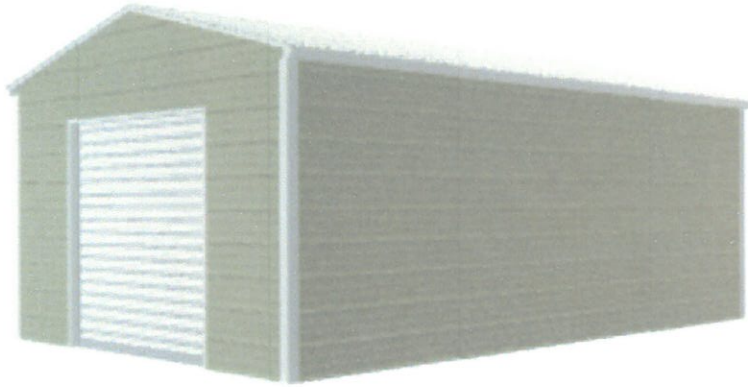
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



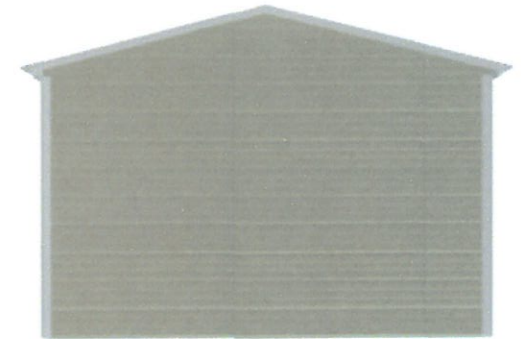
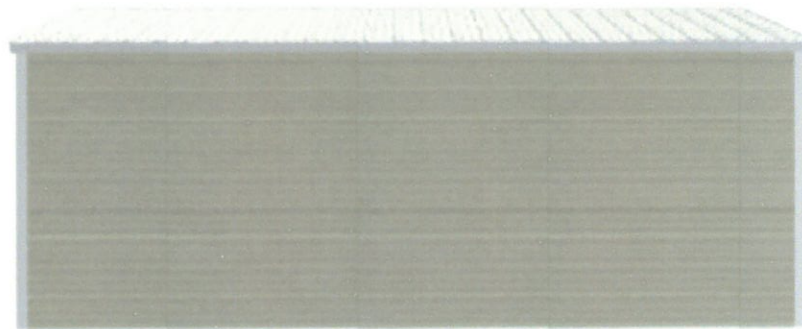
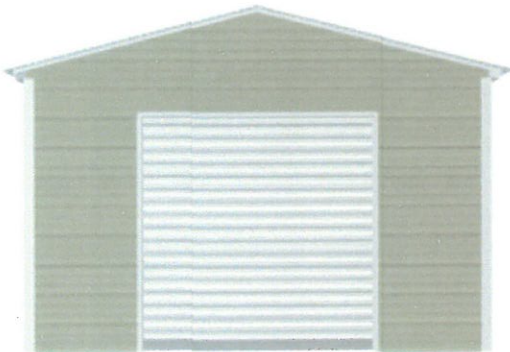
4N

3221 DIAMOND WAY DR.
ROCKWALL 75032
STERLING FARMS, BLOCK A LOT 12



General Contractor:
Texwin
1501 Goodnight Blvd.
Wills Point, TX 75169
800-636-4700

Contact:
James Parsons
sws.roycecity@gmail.com



Metal Storage Building
12' x 20' x 10' Tall

Here's Your Custom Design Quote (#1623946358182584)

Section	Description	Quantity	Amount
Structure Details			
	Style: Garage	1	-
	Roof: White*	1	-
	Trim: White*	1	-
	Siding: Ash Gray*	1	-
	Base Price: 12'x20	1	-
	Roof Style: Vertical Standard (Best)	1	-
	Roof Pitch: 3/12 (Standard)	1	-
	Roof Overhang: None	1	-
	Gauge: Heavy Duty Frame	1	-
	Leg Height: 7'- 8'	1	-
	Left Side: Fully Enclosed	1	-
	Left Side Siding: Horizontal	1	-
	Right Side: Fully Enclosed	1	-
	Right Side Siding: Horizontal	1	-
	Front End: Fully Enclosed	1	-
	Front End Siding: Horizontal	1	-
	Back End: Fully Enclosed	1	-
	Back End Siding: Horizontal	1	-
	Trusses: Standard	1	-
	Approximate center clearance: 8'-6" 9'-6"	1	-
Roll Doors & Ramps			
	6'x6' Rollup Door (as installed)	1	-
Frameouts			
	Corner Style: Square (Traditional)	1	-
Additional Options			
	29 Gauge (Standard)		
	If a Telescopic Lift is required, customer will provide		
		Subtotal:	-

Z2021-023

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM PERMISSIBLE NUMBER OF ACCESSORY STRUCTURES ON A 1.4969-ACRE TRACT OF LAND, IDENTIFIED AS LOT 12, BLOCK A, STERLING FARMS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Don Holamon for the approval of a Specific Use Permit (SUP) to allow an *Accessory Building* that exceeds the maximum permissible number of accessory structures on a 1.4969-acre tract of land described as Lot 12, Block A, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estates 1.5 (SFE-1.5) District, addressed as 3221 Diamond Way Drive, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as

heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibit 'B & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 240 SF.
- (3) The *Accessory Building* shall not exceed a maximum height of 15-feet.
- (4) The *Subject Property* shall not have more than four (4) accessory structures.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2TH DAY OF AUGUST, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 19, 2021

2nd Reading: August 2, 2021

Exhibit 'A'
Zoning Exhibit

Address: 3221 Diamond Way Drive

Legal Description: Lot 12, Block A, Sterling Farms Addition

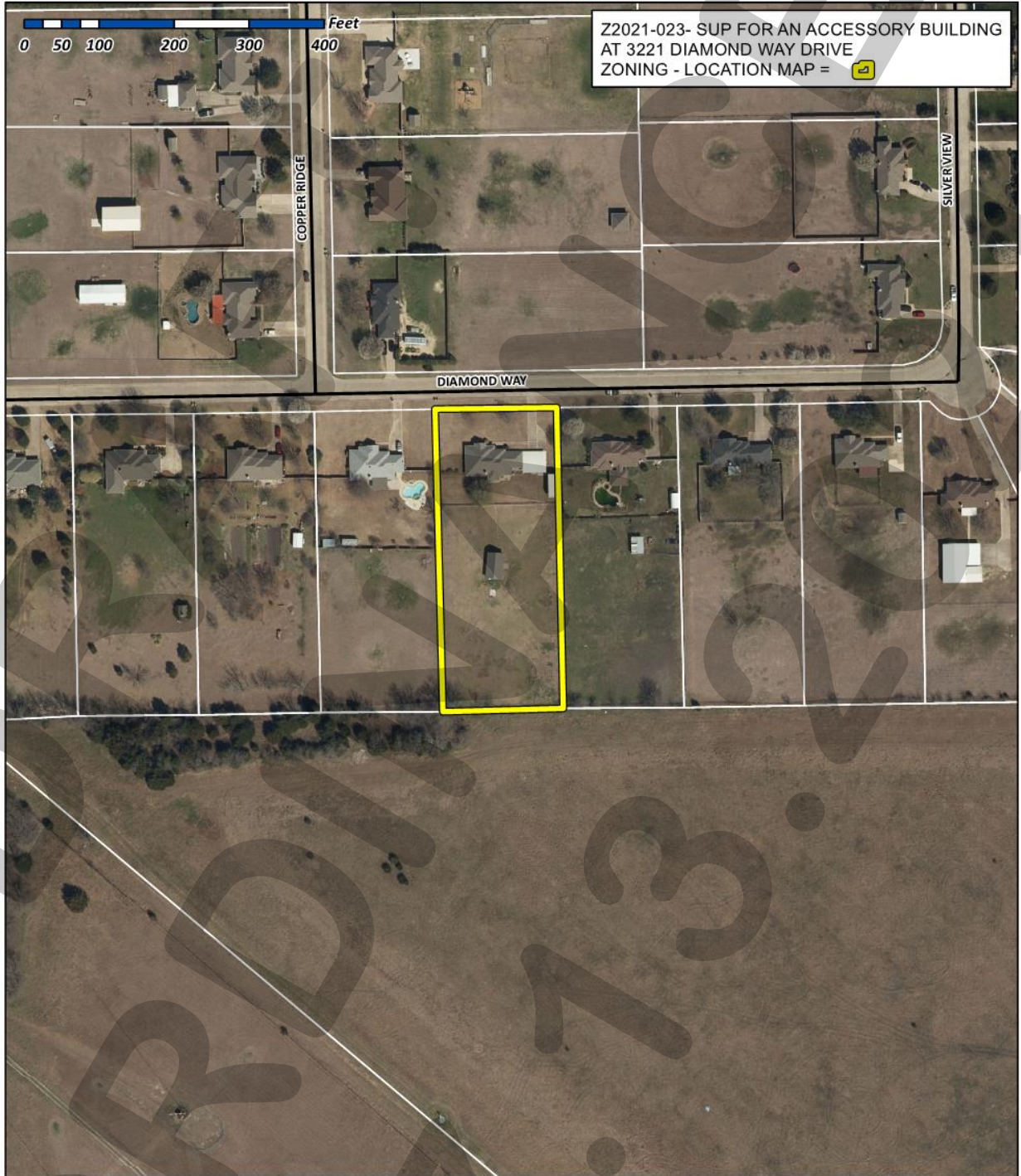
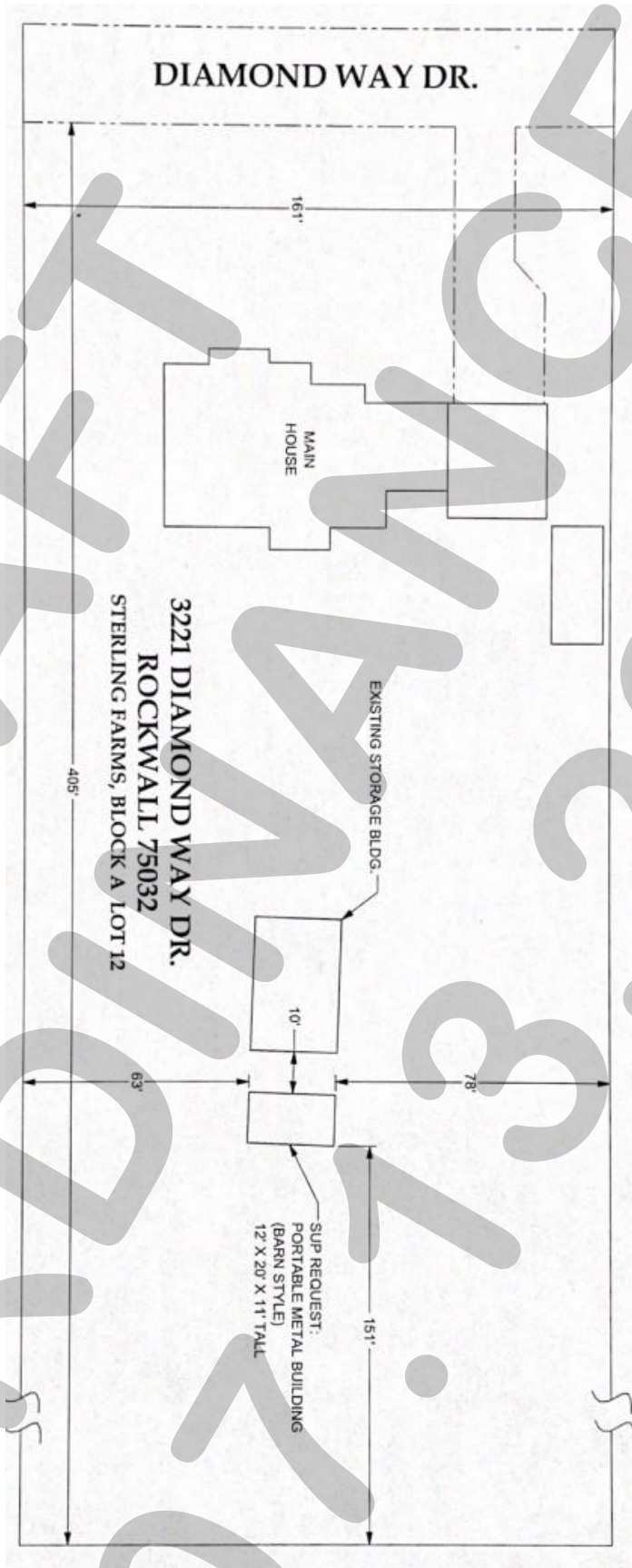


Exhibit 'B':
Residential Plot Plan



**Exhibit 'C':
Elevations**



**Metal Storage Building
12' x 20' x 10' Tall**

General Contractor:
Texwin
1501 Goodnight Blvd.
Wills Point, TX 75169
800-636-4700

Contact:
James Parsons
sws.roycecity@gmail.com



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 13, 2021
APPLICANT: Greg Wallis; *Mershawn Architects*
CASE NUMBER: Z2021-024; *Amendment to Planned Development District 46 (PD-46)*

SUMMARY

Hold a public hearing to discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of a Zoning Change amending Planned Development District 46 (PD-46) to allow *Warehouse* as a permitted land use on a 1.90-acre parcel of land identified as Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, addressed as 3301 Springer Road, and take any action necessary.

BACKGROUND

The subject property was annexed -- *along with the rest of the land area that makes up Planned Development District 46 (PD-46)* -- by the City Council on July 21, 1997 by *Ordinance No. 97-14*. At the time of annexation, the subject property and the remainder of Planned Development District 46 (PD-46) were zoned Agricultural (AG) District; however, many of the land uses that exist today were already established uses at the time of annexation. Based on this, the City Council approved *Ordinance No. 99-05* on March 1, 1999, which changed the zoning of the area from an Agricultural (AG) District to Planning Development District 46 (PD-46). Under this Planned Development District all of the properties were given a base zoning of Commercial (C) District, but were also granted the ability to continue the current land use on each of the properties (*i.e. the zoning ordinance made the legally non-conforming land uses by-right land uses for each of the properties*). Currently, the subject property is a vacant parcel of land.

PURPOSE

On May 14, 2021, the applicant -- *Greg Wallis of Mershawn Architects* -- submitted a site plan proposing to construct a 22,000 SF office/warehouse building on the subject property. After reviewing the proposal, staff determined that the *Warehouse/Distribution Center* land use was not a permitted *by-right* land use on the subject property under the requirements of Planned Development District 46 (PD-46). Based on this, the applicant submitted a subsequent application of June 18, 2021 requesting to amend Planned Development District 46 (PD-46) to allow the *Warehouse/Distribution Center* land use as a permitted *by-right* land use on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 3301 Springer Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Springer Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 38.932-acre parcel of land (*i.e. Lot 2, Block B, Rockwall Technology Park, Phase III Addition*), which has a ~278,270 SF food manufacturing facility (*i.e. Bimbo Bakery*) situated on it.

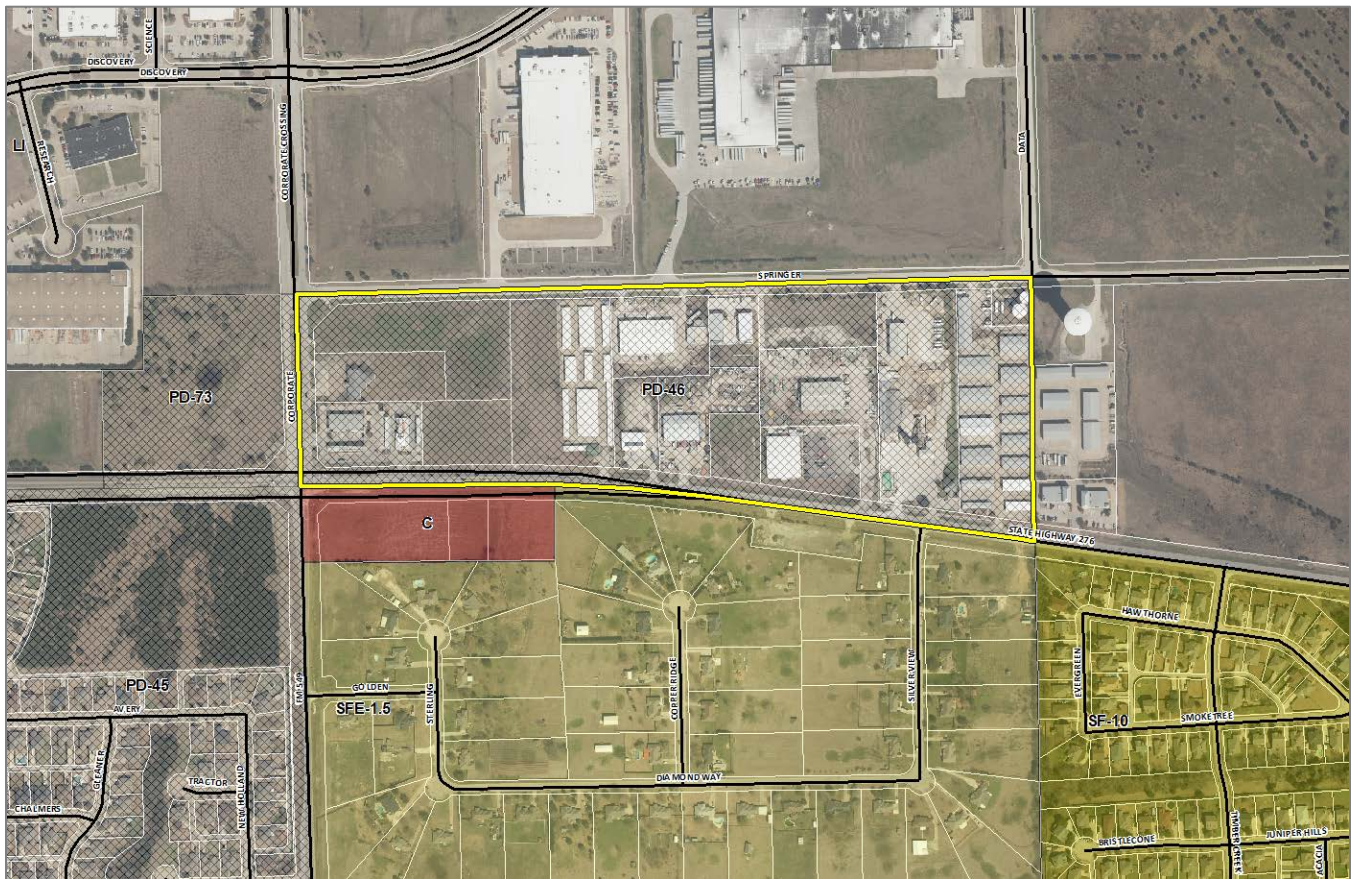
South: Directly south of the subject property is a 3.212-acre parcel of land (*i.e. Lot 6, Block A, Sharp Addition*), which is currently occupied by a *Rental Store with Outside Storage/Display* (*i.e. Sunbelt Rental*). South of this land use is a 1.964-acre parcel of land (*i.e. Lot 1, Block A, Sharp Addition*), which is occupied by a *Warehouse/Retail* business (*i.e. VAC Parts Warehouse*). Both of these properties are zoned Planned Development District 46 (PD-46) for

Commercial (C) District land uses. Beyond this is SH-276, which is identified as a TXDOT6D (*i.e. Texas Department of Transportation, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 5.317-acre tract of land (*i.e. Tract 2-13 of the J. A. Ramsey Survey, Abstract No. 186*), which is currently occupied by a *Light Manufacturing/Fabrication* facility (*i.e. Lattimore Material Company*). Beyond this is a 7.571-acre parcel of land (*i.e. Lot 1, Block 1, Highway 276 Self-Storage*), which is currently occupied with a *Mini-Warehouse* facility (*i.e. Highway 276 Self-Storage*). Both of these properties are zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses. Beyond this is the site of a municipal water tower for the City of Rockwall.

West: Directly west of the subject property is a 1.095-acre parcel of land (*i.e. Lot 4, Block A, Sharp Addition*), which is currently occupied with two (2) *Office/Warehouse* buildings. Beyond this is a 2.50-acre tract of land (*i.e. Tract 2-3 of the J. A. Ramsey Survey, Abstract No. 186*), which is currently occupied with an *Industrial* land use. West of this is a five (5) acre tract of land (*i.e. Tract 2-6 of the J. A. Ramsey Survey, Abstract No. 186*), that is currently occupied by a *Mini-Warehouse* facility (*i.e. The Storage Locker*). All of these properties are zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses.

FIGURE 1: LOCATION MAP



CHARACTERISTICS OF THE REQUEST

According to Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the *Warehouse/Distribution Center* land use is only permitted *by-right* in the Heavy Commercial (HC), Light Industrial (LI), and Heavy Industrial (HI) Districts. The applicant is requesting to have this land use incorporated as a *by-right* land use for the subject property, which is currently zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses. This zoning change would only affect the 1.90-acre subject property; however, staff has written the proposed ordinance to supersede the previous ordinance (*i.e. Ordinance No. 99-05*) and consolidate the applicant's request into a single regulating ordinance. While this is a new ordinance, no changes

with regard to the requirements, intent, or permitted land uses to any other property other than the subject property have been incorporated into Planned Development District 46 (PD-46).

INFRASTRUCTURE

The proposed amendment to Planned Development District 46 (PD-46) will not require any additional infrastructure improvements to the subject property.

CONFORMANCE TO THE CITY'S CODES

The proposed amendment to Planned Development District 46 (PD-46) does not change the subject property's conformance with the Unified Development Code (UDC), Engineering Standards of Design and Construction, or the Municipal Code of Ordinances.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Technology District* and is designated for *Commercial/Retail* land uses on the Future Land Use Plan. Since the applicant's request does not change the land use designation on the Future Land Use Plan, this request would not change the properties conformity with regards to the land use plan contained in the OURHometown Vision 2040 Comprehensive Plan; however, the land use not being permitted within the Commercial (C) District would increase the non-conformity of the Planned Development District with regard to the goals and policies contained in the OURHometown Vision 2040 Comprehensive Plan. Based on this the proposed zoning change is considered to be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On June 30, 2021, staff mailed 70 notices to property owners and occupants within 500-feet of the subject property. Staff also sent notices to the Timber Creek and Lofland Farms Homeowner's Associations (HOAs), which were the only Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any responses concerning the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to amend Planned Development District 46 (PD-46), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained in the Planned Development District ordinance; and,
- (2) Any construction resulting from the approval of this *Zoning Change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-024

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: Springer Rd.
 SUBDIVISION: Sharp Addition LOT 5 BLOCK A
 GENERAL LOCATION: South side of Springer Rd, East of Corporate Crossing

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: PD 46 CURRENT USE: Vacant
 PROPOSED ZONING: Ammended PD 46 PROPOSED USE: Office Warehouse
 ACREAGE: 1.9 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER: KRIS SHARP	<input checked="" type="checkbox"/> APPLICANT: Merchowen Architects
CONTACT PERSON: Greg Wallis	CONTACT PERSON: Greg Wallis
ADDRESS: 2578 Hwy 276	ADDRESS: 1520 E. I-30
CITY, STATE & ZIP: Rockwall, TX 75082	CITY, STATE & ZIP: Rockwall, TX 75082
PHONE: 214-392-0689	PHONE: 817-235-9853
E-MAIL: krissharp@sharpinsulation.com	E-MAIL: merchowenarch@gmail.com

NOTARY VERIFICATION [REQUIRED]

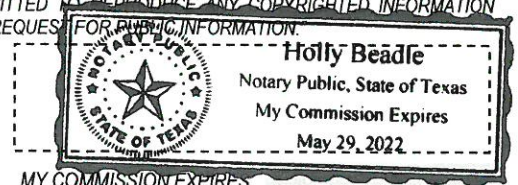
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kris Sharp [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 228.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF June, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF June, 2021.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2021-024- AMENDMENT TO PD-46
 ZONING - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

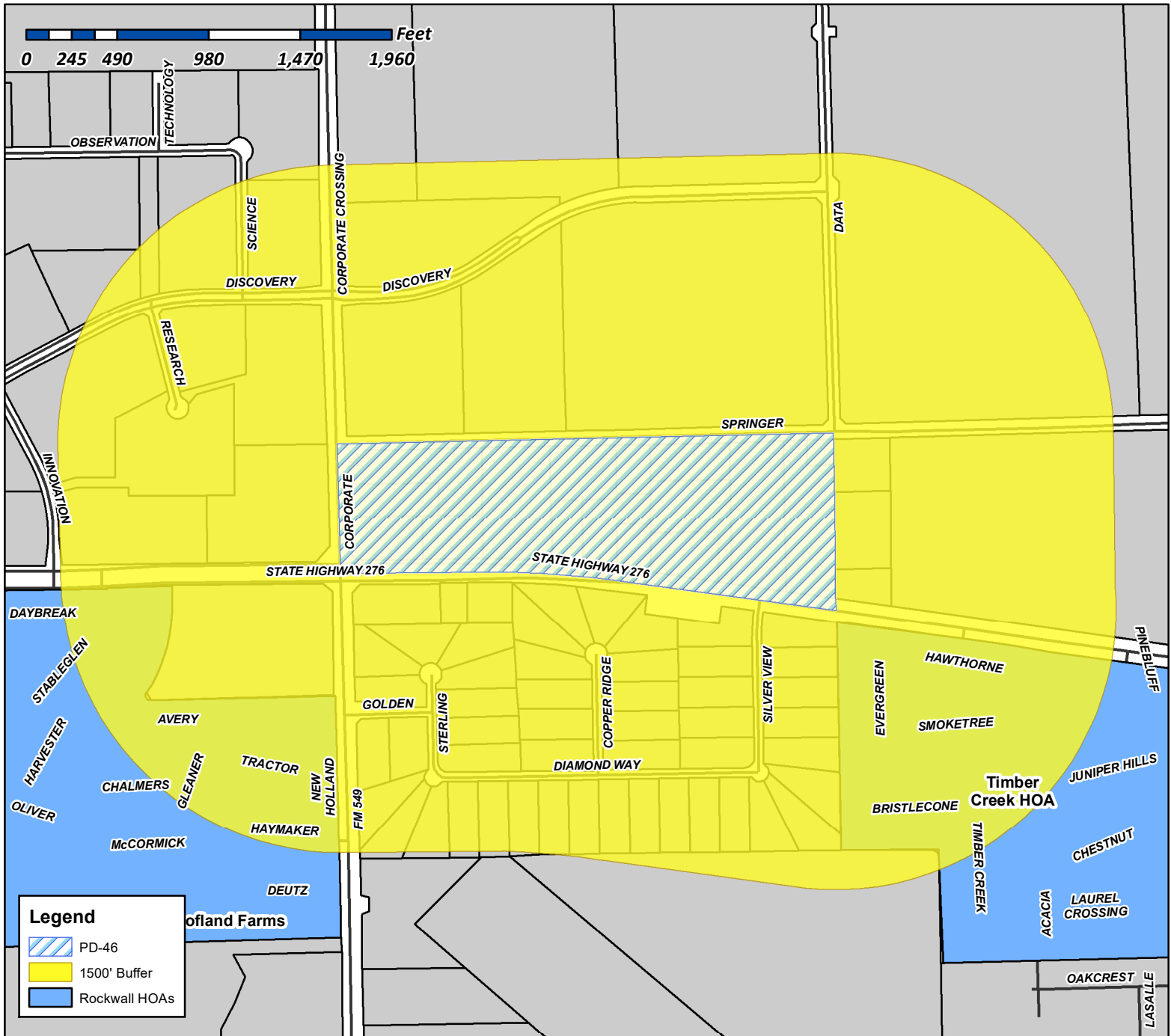




City of Rockwall

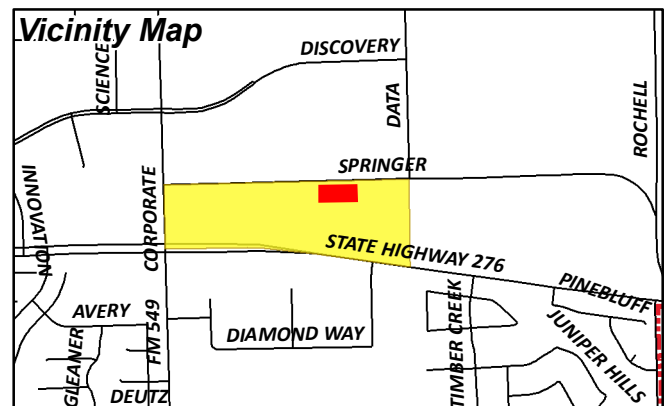
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Case Number: Z2021-024
Case Name: Amendment to PD-46
Case Type: Zoning
Zoning: Planned Development District 46 (PD-46)
Case Address: South of Springer Road & East of Corporate Crossing

Date Created: 6/23/2021
For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Monday, June 28, 2021 4:55 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-024]
Attachments: Public Notice (06.28.2021).pdf; HOA Map Z2021-024.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *June 25, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, July 13, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, July 19, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-024 Zoning Change amending Planned Development District 46

Hold a public hearing to discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of a *Zoning Change* amending Planned Development District 46 (PD-46) to allow *Warehouse* as a permitted land use on a 1.90-acre parcel of land identified as Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, addressed as 3301 Springer Road, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

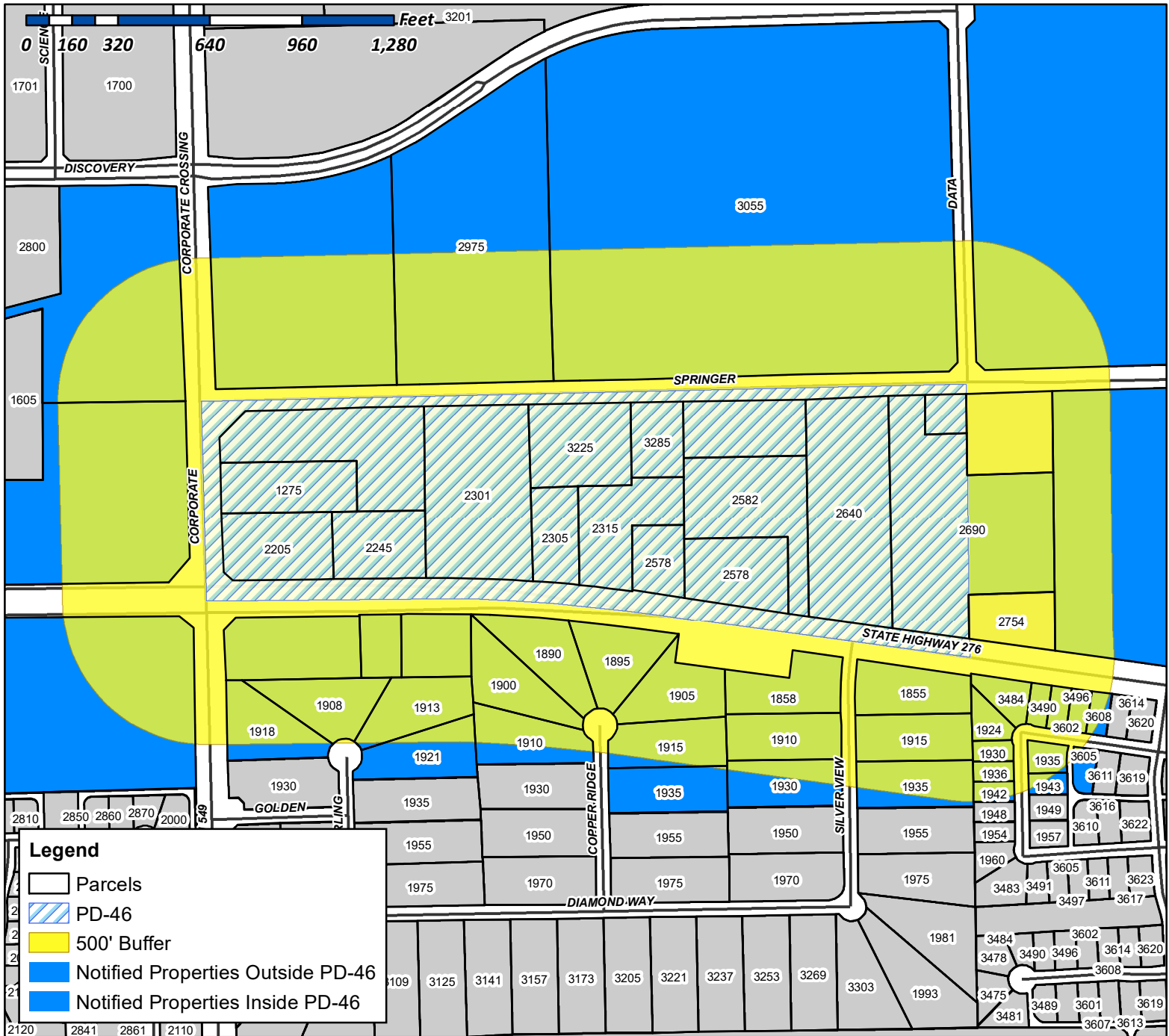
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City of Rockwall

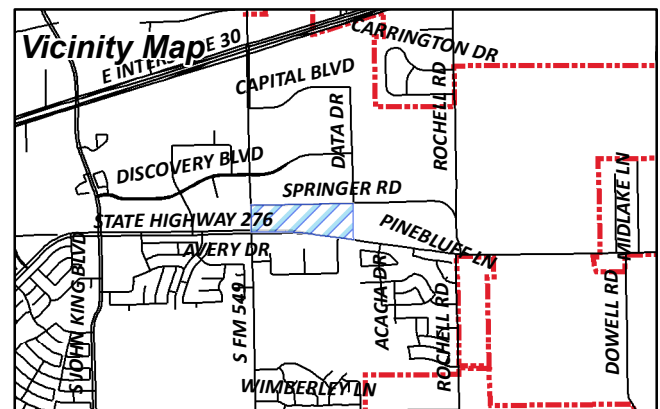
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Case Number: Z2021-024
Case Name: Amendment to PD-46
Case Type: Zoning
Zoning: Planned Development District 46 (PD-46)
Case Address: South of Springer Road and East of Corporate Crossing

Date Created: 6/23/2021
For Questions on this Case Call (972) 771-7745



CONNOLLY SQUARED LLC
1122 N FLORENCE ST
BURBANK, CA 91505

KELLER JACQUELYN
1275 CORPORATE CROSSING
ROCKWALL, TX 75032

NBN COMMERCIAL GROUP LLC
2040 N BELT LINE RD STE 400
MESQUITE, TX 75150

ALMO INVESTMENT II LTD
2205 HWY 276
ROCKWALL, TX 75032

PRBS PROPERTIES LLC
2245 HWY276
ROCKWALL, TX 75032

PRISM LEASING LTD
A TEXAS LIMITED PTNRSHIP
2301 HWY276
ROCKWALL, TX 75032

CONNOLLY SQUARED LLC
2305 HWY276
ROCKWALL, TX 75032

TOMMY'S MOBILE BOAT & MOTOR SERVICE, INC
2315 STATE HIGHWAY 276
ROCKWALL, TX 75032

SHARP RICK
2578 HWY276
ROCKWALL, TX 75032

ROCKHEAD HOLDINGS LLC
2578 STATE HIGHWAY 276
ROCKWALL, TX 75032

AGREE LIMITED PARTNERSHIP
2582 HWY276RD
ROCKWALL, TX 75032

LATTIMORE MATERIALS COMPANY LP
2640 HWY276
ROCKWALL, TX 75032

COLIN-G PROPERTIES INC
2690 HWY276
ROCKWALL, TX 75032

SHARP RICK
2740 STATE HWY 276 SUITE 100
ROCKWALL, TX 75032

SHARP RICK
2740 STATE HWY 276 SUITE 100
ROCKWALL, TX 75032

5 SHARP REAL ESTATE LLC
3021 RIDGE RD #159
ROCKWALL, TX 75032

PRBS PROPERTIES LLC
3216 HUNTER LANE
PLANO, TX 75093

NBN COMMERCIAL GROUP LLC
3225 SPRINGERLN
ROCKWALL, TX 75032

5 SHARP REAL ESTATE LLC
3285 SPRINGERRD
ROCKWALL, TX 75032

PRISM LEASING LTD
A TEXAS LIMITED PTNRSHIP
625 SUNSET HILL DR
ROCKWALL, TX 75087

AGREE LIMITED PARTNERSHIP
70 EAST LONG LAKE
BLOOMFIELD HILLS, MI 48304

KELLER JACQUELYN
8522 GARLAND RD
DALLAS, TX 75218

BLACKLAND WATER CORP
ATTN ADA JO PHILLIPS
PO BOX 215
FATE, TX 75132

LATTIMORE MATERIALS COMPANY LP
PO BOX 2469
ADDISON, TX 75001

ALMO INVESTMENT II LTD
PO BOX 2599
WAXAHACHIE, TX 75168

MAK SPOT REAL ESTATE LLC
PO BOX 496585
GARLAND, TX 75049

COLIN-G PROPERTIES INC
PO BOX 847
ROCKWALL, TX 75087



City of Rockwall
2021
Planning and Zoning Department
Ryan Miller
Re: Sharp Office/Warehouse

June 18, 2021,

LETTER OF ZONING AMMENDMENT

We respectfully request an amendment to the current PD 46 zoning to allow an Office/Warehouse building. This use is not included in the PD 46 zoning; however the use is typical for this area.

ORDINANCE NO. 99-05

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED SO AS TO CHANGE THE ZONING ON A TRACT OF LAND WHICH IS MORE FULLY DESCRIBED HEREIN FROM "A" AGRICULTURAL CLASSIFICATION TO PLANNED DEVELOPMENT ZONING "PD- 46 PLANNED DEVELOPMENT NUMBER 46; CORRECTING THE OFFICIAL ZONING MAP; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a change in the classification of a zoning district has been initiated by the City of Rockwall for the property more specifically described in Exhibit "A" attached hereto; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the state of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to give "Planned Development District No.46 classification to the tract of land described in Exhibits "A" and "B" attached hereto and made part of.

SECTION 2. That the property described in Exhibit "A" shall be used only in the manner and for the purposes provided for in Exhibit "B" and the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future. The granting of this zoning classification for the property as described in Exhibit "A" is subject to the following special conditions:

- A. The use of the property shall be regulated by the following requirements:
 1. The uses, area requirements and development standards of the Commercial zoning category of the Comprehensive Zoning ordinance as currently adopted, or as revised in the future, and Exhibit "B" except as otherwise provided for in this ordinance.

- B. Those tracts with existing buildings will be allowed to use the same exterior materials currently shown in Exhibit "B" for any new buildings that are built. However, if an existing building is expanded to an amount that equals 50% of the appraised tax value of that building, the requirements of the commercial zoning district exterior materials shall be met.

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

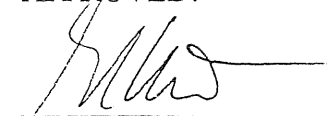
SECTION 5. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED this 1st day of March, 1999.

APPROVED:



Mayor
George R. Hatfield

ATTEST:

BY Cindy Kindred
Cindy Kindred, City Secretary

1st reading 2/15/99

2nd reading 3/1/99

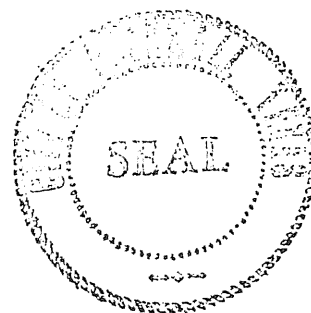
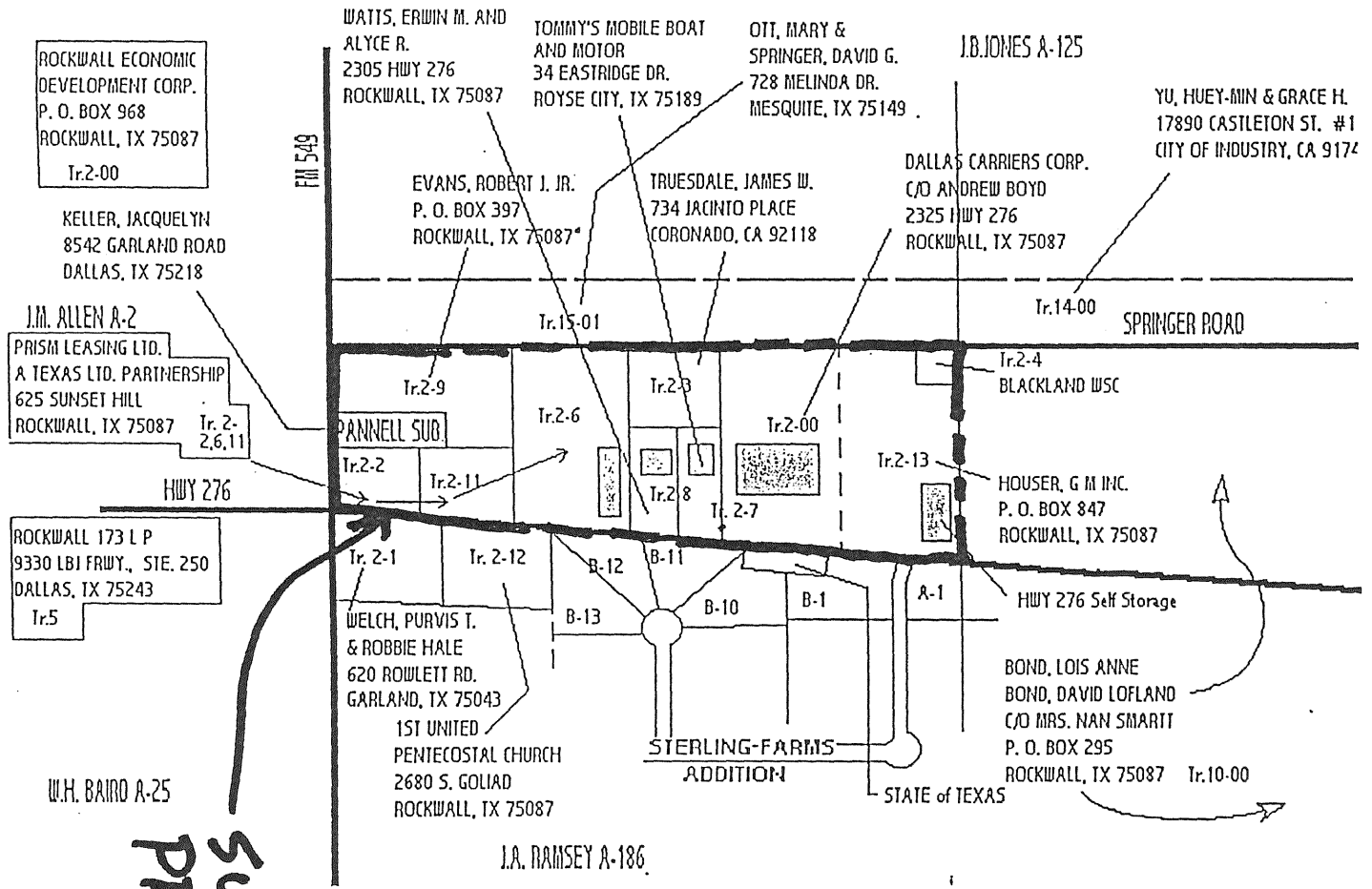


EXHIBIT "A"



SUBJECT PROPERTY

98-87

J. A Ramsey A-186

Track 2, Lot 00 - 10.001 Acres

Ownership: **Continental Express**
(As of Jan. 1, 1999)
2325 Hwy 276
Rockwall, Texas 75087

Property Use: **Trucking/Freight**
Carrier Company

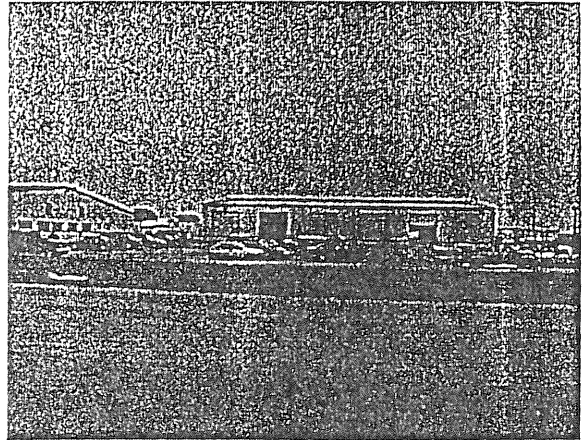
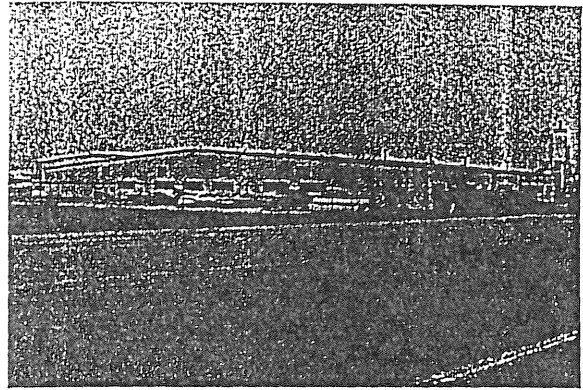
- Outside Storage of Trucks and Trailers
- Limited Outside Storage of Pallets
- Metal Buildings

Proposed Zoning

Commercial

***Permitted uses** - those uses in the permitted use section of the zoning ordinance and trucking operation and associated uses.

***Conditional uses** - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 2 - 2.00 Acs.

Ownership: **Prism Leasing Ltd.**
A Texas Limited Partnership
625 Sunset Hill
Rockwall, Texas 75087

Property Use: **Rockwall Tire & Battery**
Proprietor: **Roland Cobb**

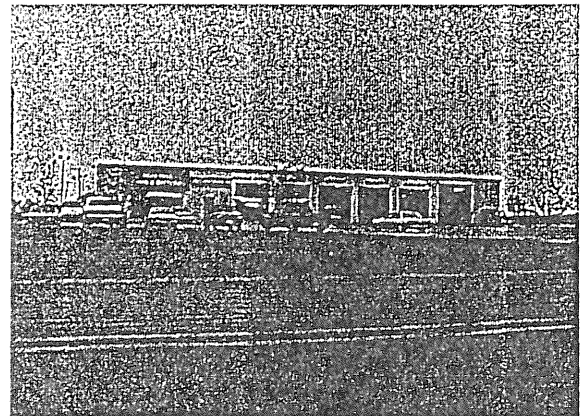
- Minor Auto Repair
- Limited Outside Storage
- Metal Building

Proposed Zoning

Commercial

***Permitted uses** - those uses in the permitted use section of the zoning ordinance and minor auto repair and associated uses

***Conditional uses** - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 3 - 2.5 Acs.

Ownership: James W. Truesdale

734 Jacinto Place

Coronado, Calif. 92118

Property Use: Existing Vacant Building

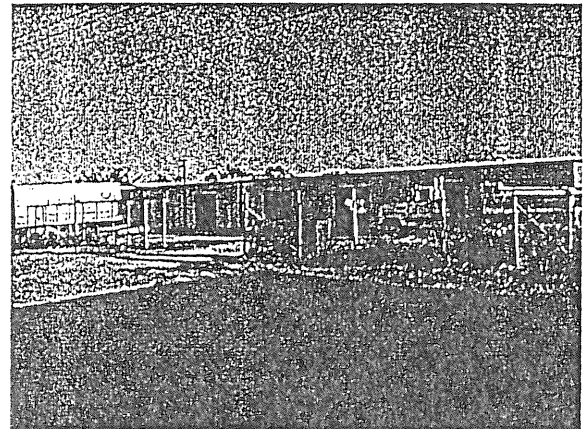
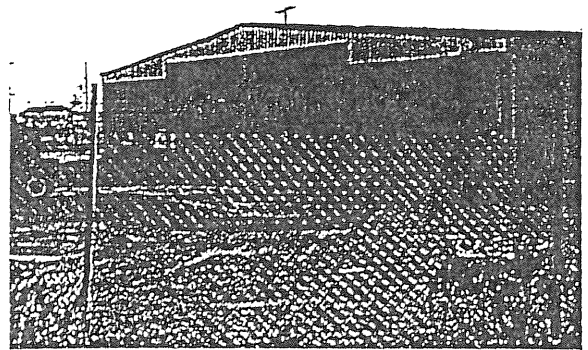
- Possibly a Contractor's Yard
- Outside Storage of Equipment
- Metal Building

Proposed Zoning

Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance and contractor yard and equipment yard.

*Conditional uses - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 4 - 0.436 Acs.

Ownership: Blackland WSC

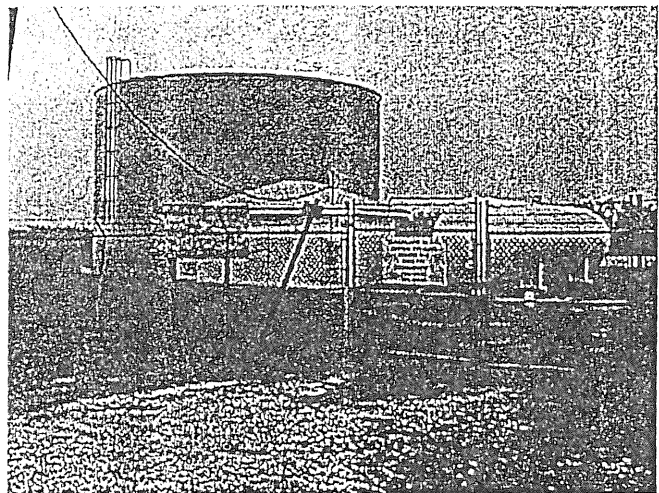
Property Use: Water Station

Proposed Zoning

Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance.

*Conditional uses - those uses in the conditional use section of the zoning ordinance.

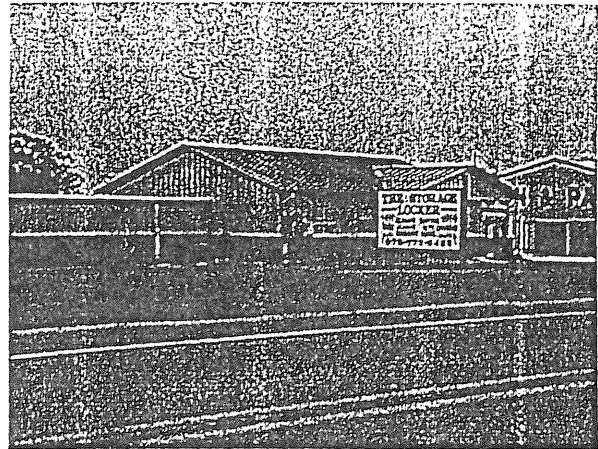


Track 2, Lot 6 - 5.00 Acs.

Ownership: Prism Leasing Ltd.
A Texas Limited
Partnership
625 Sunset Hill
Rockwall, Texas 75087

Property Use: Self Storage Facility

- No Outside Storage
- Metal Building with Some Brick Accents
along SH 276

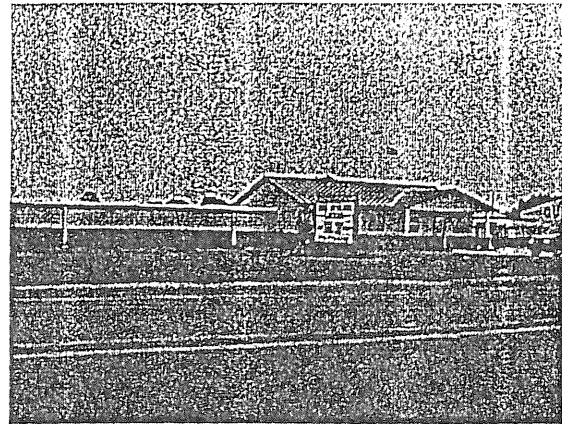


Proposed Zoning

Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance and mini-warehouses with no overhead doors facing the street.

*Conditional uses - those uses in the conditional use section of the zoning ordinance.

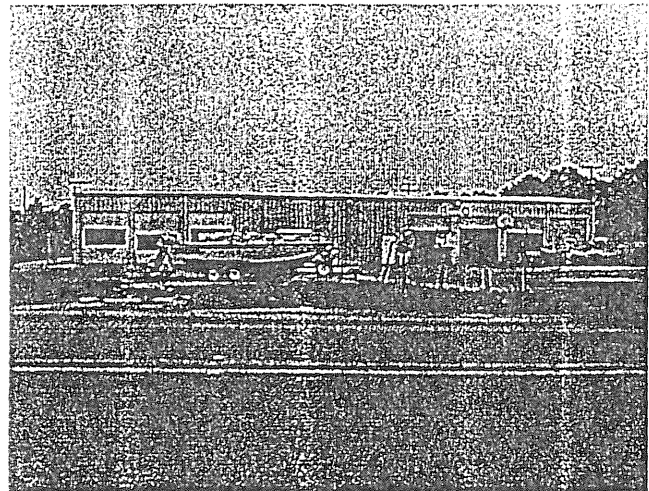


Track 2, Lot 7 - 1.5 Acs.

Ownership: Tommy's Mobile Boat
and Motor
34 Eastridge Drive
Royse City, Texas 75189

Property Use: Boat Motor Repair
Facility

- Limited Outside Storage of Boats
- Metal Building
- Outside Display for Boat Sales



Proposed Zoning

Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance and boat repair with accessory sales.

*Conditional uses -. those uses in the conditional use section of the zoning ordinance.

Track 2, Lot 8 - 1 Ac.

Ownership: Erwin M. and
Alyce R. Watts
2305 Hwy 276
Rockwall, Texas 75087

Property Use: Watt's Gun and Pawn

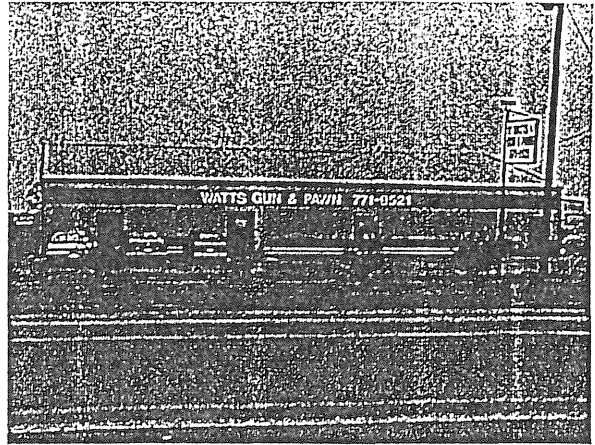
- No Outside Storage
- Tilt Wall Construction
- On-Site Security Live-In

Proposed Zoning

Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance and pawn shop with On-Site Security Live-In

*Conditional uses - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 9 - 3.07 Acs.

Ownership: Robert J. Evans, Jr.
P. O. Box 397
Rockwall, Texas 75087

Property Use: Vacant

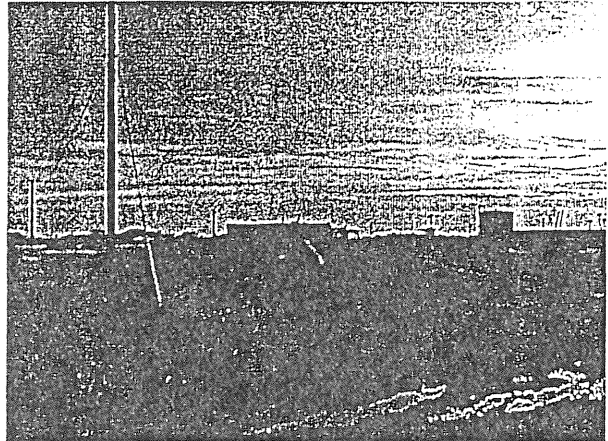
- Dirt Stockpiles
- Concrete Stockpiles
- Assortment of Junk and Refuse

Proposed Zoning

Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance.

*Conditional uses - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 11 - 2.00 Acs.

Ownership: Prism Leasing Limited
A Texas Limited Partnership
625 Sunset Hill
Rockwall, Texas 75087

Property Use: Vacant

Proposed Zoning

Commercial

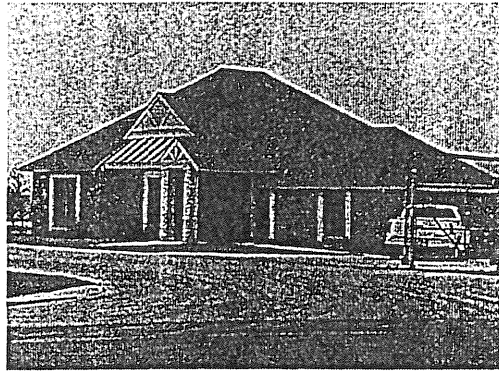
*Permitted uses - those uses in the permitted use section of the zoning ordinance.

*Conditional uses - those uses in the conditional use section of the zoning ordinance.

Track 2, Lot 13 - 10.003 Acs.

Ownership: Houser, G.M Inc.
P. O. Box 847
Rockwall, Texas 75087
Property Use: Concrete-Ready Mixed
Company/Self Storage

- Brick Office Building
- Metal Self-Storage Buildings
- Metal Shop Buildings
- Concrete Batch Plant

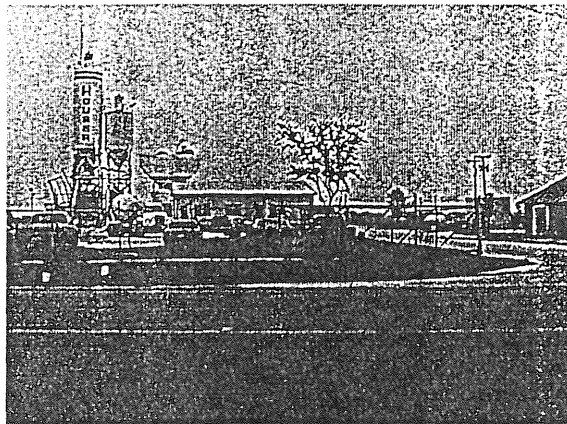


Proposed Zoning

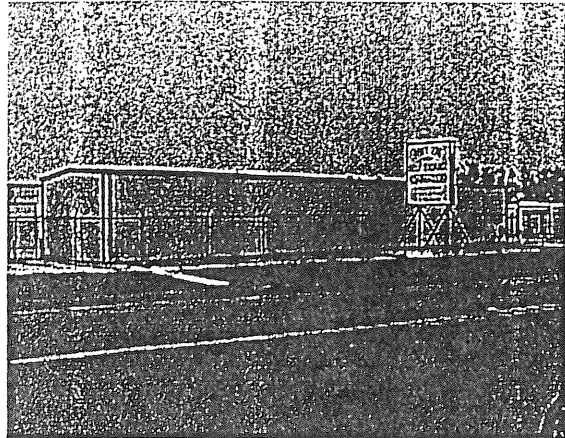
Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance and concrete batch plants, associated uses, and mini-warehouses with no overhead doors facing the street.

*Conditional uses - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 13 - Houser, G. M.
(continued)

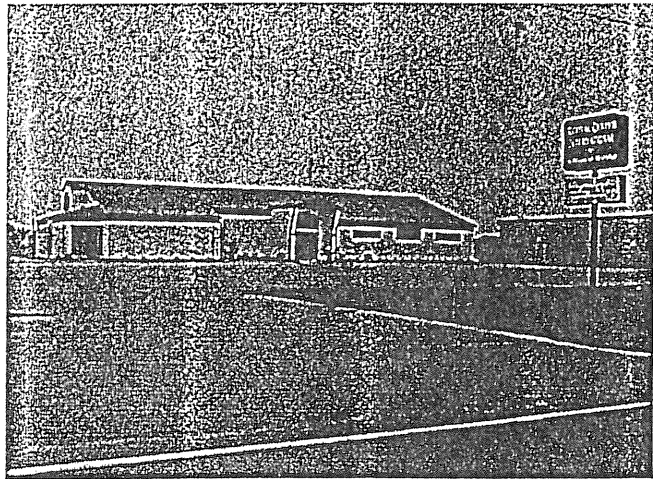


Pannell Subdivision 2.00 Acs.

Ownership: Jacquelyn Keller
8542 Garland Road
Dallas, Texas 75218

Property Use: Church

- Building with Vinyl Siding



Proposed Zoning

Commercial

*Permitted uses - those uses in the permitted use section of the zoning ordinance.

*Conditional uses - those uses in the conditional use section of the zoning.

Planned Development No. 46

BEING 47.37 acres of land situated in the Abstract 186, J.A. Ramsey Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a point in the south Right of Way of Discovery Blvd, at City Geodetic Control Monument #9. (*NAD83 Texas State Plane GPS Coordinate: 2,607,463.893 E, 7,020,550.132 N feet*) bearing South 73° 10' 43" East, a distance of 2,602.028 feet to the *POINT OF BEGINNING*;

BEGINNING at a point in the intersection of Springer Rd and Data Dr. (*NAD83 Texas State Plane GPS Coordinate: 2,609,967.107 E, 7,019,844.125N feet*);

THENCE South 00° 12' 17" West following the Eastern boundary line of Planned Development #46, a distance of 951.9 feet for a corner;

THENCE North 81° 8' 11" West, a distance of 1,019.177 feet to the beginning of a curve found in the centerline of State Highway 276, said being the beginning of a curve to the left having a tangent of 730.751 feet and a radius of 6,289.035 feet with a chord distance of 730.268 feet and a chord bearing of North 83 degrees 30 minutes 38 seconds West to a point;

THENCE North 89° 23' 42" West, a distance of 920.839 feet for a corner;

THENCE North 0° 20' 45" West, a distance of 693.685 feet for a corner;

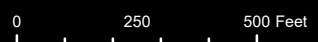
THENCE North 89° 48' 28" East, a distance of 2,660.985 feet, to the *POINT OF BEGINNING AND CONTAINING 47.37 acres of land (2,063,262.886 square feet) more or less.*

The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All information is provided 'As Is' with no warranty being made, either expressed or implied.

POC
CITY MONUMENT:
COR-9
N: 7020550.132
E: 2607463.893
ELEV: 595.53'



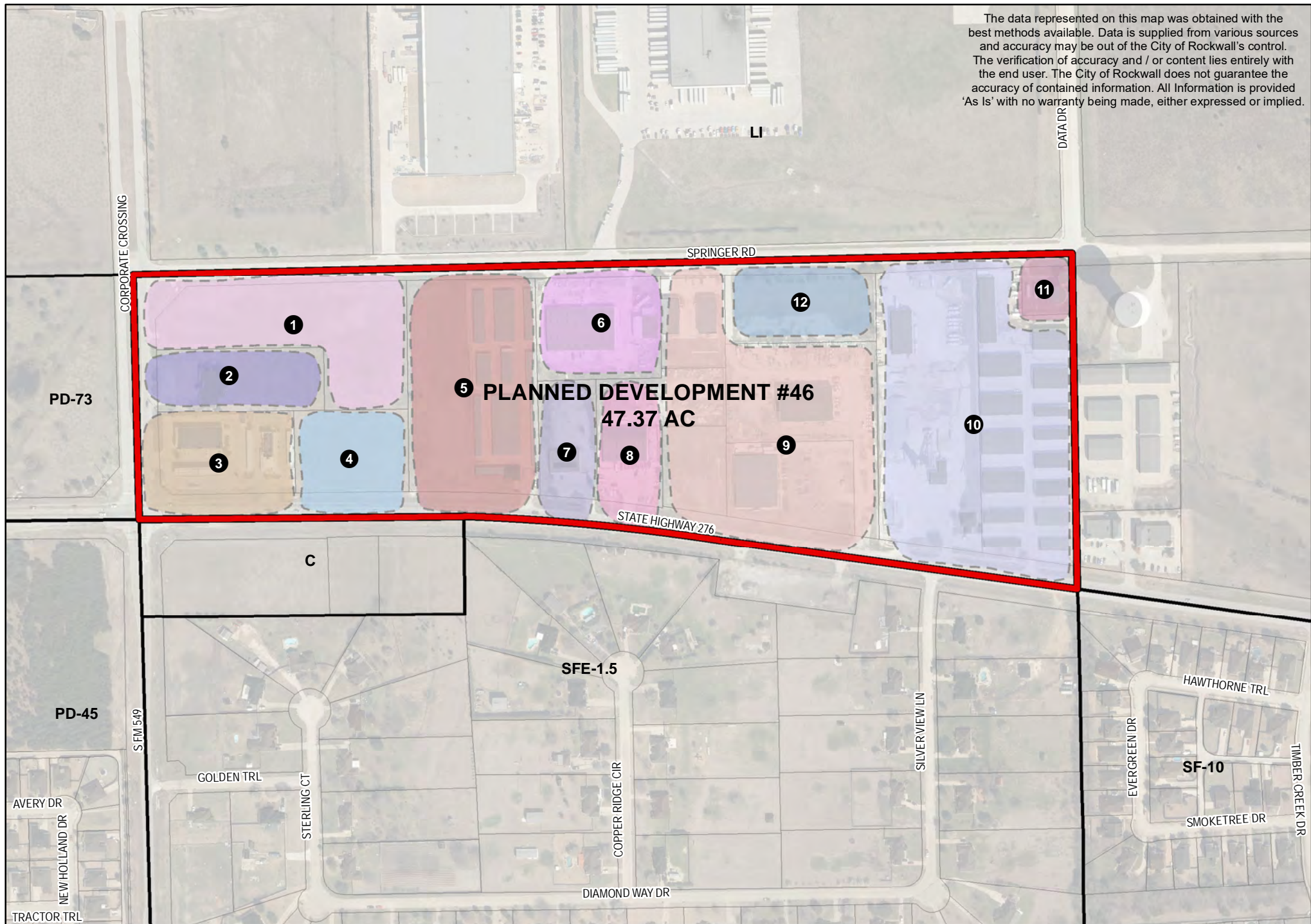
City of
Rockwall



ROCKWALL GIS
Date: 6/22/2021

PLANNED DEVELOPMENT #46

The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All information is provided 'As Is' with no warranty being made, either expressed or implied.



City of
Rockwall



0 250 500 Feet

ROCKWALL GIS
Date: 6/23/2021

PLANNED DEVELOPMENT #46

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46) [ORDINANCE NO. 99-05] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46), BEING A 47.37-ACRE TRACT OF LAND SITUATED WITHIN THE J. A. RAMSEY SURVEY, ABSTRACT NO. 186, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of an amendment Planned Development District 46 (PD-46) [Ordinance No. 99-05] for the purpose of allowing a Warehouse as a permitted land use on a 1.90-acre parcel of land identified as Lot 5, Block A, Sharp Addition being a portion of a larger 47.37-acre Planned Development District that is situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, identified as Planned Development District 46 (PD-46) [Ordinance No. 99-05], which is more fully described and depicted in Exhibit 'A' of this ordinance, and hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 46 (PD-46) [Ordinance No. 99-05] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No 99-05*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *PD Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [Ordinance No. 04-38], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [Ordinance No. 04-38] of any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [Ordinance No. 04-38] (including references to the Unified Development Code), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF AUGUST, 2021.

Kevin Fowler, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: July 19, 2021

2nd Reading: August 2, 2021

EXHIBIT 'A':
Legal Description and Survey

BEING 47.37 acres of land situated in the Abstract 186, J.A. Ramsey Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a point in the south Right of Way of Discovery Blvd, at City Geodetic Control Monument #9. (NAD83 Texas State Plane GPS Coordinate: 2,607,463.893 E, 7,020,550.132 N feet) bearing South 73° 10' 43" East, a distance of 2,602.028 feet to the POINT OF BEGINNING;

BEGINNING at a point in the intersection of Springer Rd and Data Dr. (NAD83 Texas State Plane GPS Coordinate: 2,609,967.107 E, 7,019,844.125N feet);

THENCE South 00° 12' 17" West following the Eastern boundary line of Planned Development #46, a distance of 951.9 feet for a corner;

THENCE North 81° 8' 11" West, a distance of 1,019.177 feet to the beginning of a curve found in the centerline of State Highway 276, said being the beginning of a curve to the left having a tangent of 730.751 feet and a radius of 6,289.035 feet with a chord distance of 730.268 feet and a chord bearing of North 83 degrees 30 minutes 38 seconds West to a point;

THENCE North 89° 23' 42" West, a distance of 920.839 feet for a corner;

THENCE North 0° 20' 45" West, a distance of 693.685 feet for a corner;

THENCE North 89° 48' 28" East, a distance of 2,660.985 feet, to the POINT OF BEGINNING AND CONTAINING 47.37 acres of land (2,063,262.886 square feet) more or less.

EXHIBIT 'A':
Legal Description and Survey



EXHIBIT 'B':
Concept Plan

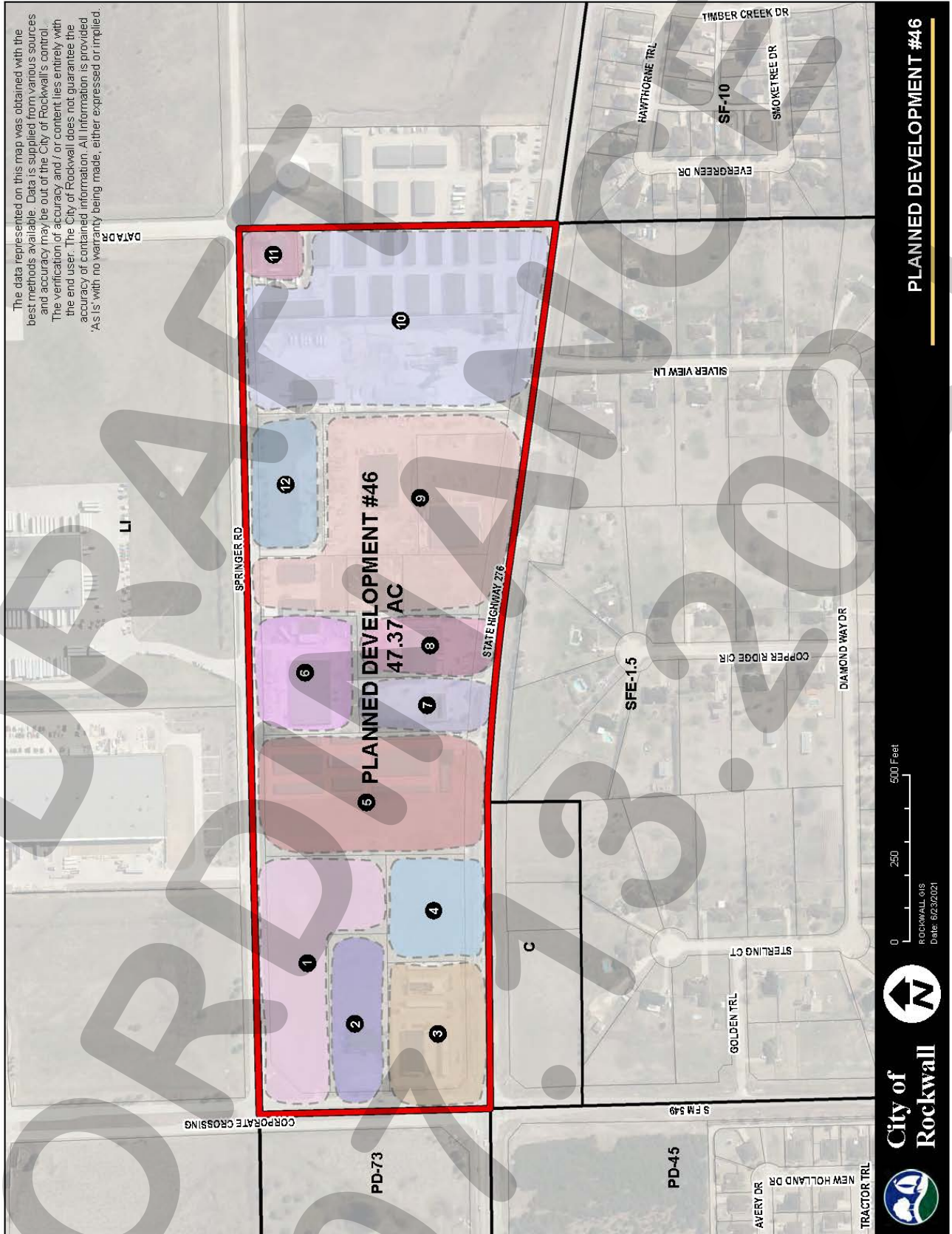


EXHIBIT 'C':
PD Development Standards

- (A) Purpose. The purpose of this amendment to Planned Development District 46 (PD-46) is to supersede *Ordinance No. 99-05*; however, this ordinance does not change the intent, restrictions, or land uses established in *Ordinance No. 99-05* with the exception of adding the *Warehouse* land use to *Tract 12* as depicted in *Exhibit 'B'* of this ordinance.
- (B) Permitted Land Uses. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the permitted land uses stipulated for properties in a Commercial (C) District as specified in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following land uses shall be permitted *by-right* on the corresponding tract:
- (1) Tract 3 [Tract 2, Lot 02].
 - Minor Automotive Repair Garage
 - (2) Tract 5 [Tract 2, Lot 06].
 - Mini-Warehouse
 - (3) Tract 6 [Tract 2, Lot 03].
 - Heavy Construction/Trade Yard
 - (4) Tract 7 [Tract 2, Lot 08].
 - Pawn Shop
 - (5) Tract 8 [Tract 2, Lot 07].
 - New or Used Boat Dealership
 - (6) Tract 9 [A Portion of Tract 2, Lot 00].
 - Trucking Company
 - (7) Tract 10 [Tract 2, Lot 13].
 - Concrete Batch Plant
 - Mini-Warehouse
 - (8) Tract 12 [A Portion of Tract 2, Lot 00].
 - Warehouse
- (C) Dimensional Requirements. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the dimensional requirements stipulated for properties in a Commercial (C) District as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (D) Legal Non-Conforming Status. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be allowed to maintain the same exterior building materials that are currently utilized on the existing building for any new buildings that are built; however, if an existing or new building is expanded to an amount that equals 50% of the appraised tax value of that building, the building shall be required to adhere to the requirements of the

EXHIBIT 'C':
PD Development Standards

Commercial (C) District as stipulated in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

DRAFT
ORDINANCE
07.13.2021



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 13, 2021
APPLICANT: Kevin Osornio
CASE NUMBER: Z2021-025; *Specific Use Permit (SUP) for a Residential Infill for 154 Lynne Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Kevin Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 908A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 154 Lynne Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lot 908A of the Rockwall Lake Properties Development #2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 154 Lynne Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses.

South: Directly south of the subject property are three (3) parcels of land (144, 136, & 124 Lynne Drive) developed with modular homes. Beyond this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several parcels of land zoned Commercial (C) District.

East: Directly east of the subject property is Lynne Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this are two (2) rows of single-family and modular homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) land uses. Beyond this is Chris Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a row of single-family and modular homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) land uses. Beyond this is Blanche Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) rows of single-family and modular homes zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Lake Rockwall Estates East Subdivision. This subdivision has been in existence for more than ten (10) years, consists of more than five (5) lots, and is more than 90% of the developable lots are developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Lynne Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Lynne Drive and the Subject Property	Proposed Housing
Building Height	One (1) Story & Two (2) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face west towards Lynne Drive.
Year Built	1974-2019	N/A
Building SF on Property	728 SF – 2,542 SF	1,844 SF
Building Architecture	Single-Family and Modular Homes	Comparable Architecture to the Surrounding Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks are 20-35-Feet	25-Feet
Side	The side yard setbacks are 0-33-Feet	6-Feet & 24-Feet
Rear	The rear yard setbacks are 10-38-Feet	30-Feet, 4.5-Inches
Building Materials	Brick, Metal, & Vinyl Siding	Brick
Paint and Color	Brown, Tan, Blue, White, Red, & Yellow	N/A
Roofs	Composite Shingles & Metal	Composite Shingle
Driveways/Garages	Flat-Front Entry, J-Swing, Carports, and Homes without Garages	The garage will be oriented in front of the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage 14-feet, 6.5-inches in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in the past.

With the exception of the garage setback requirement, the proposed single-family home meets all of the density and dimensional requirements for the Single-Family 7 (SF-7) District as stipulated by Planned Development District 75 (PD-75) and the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family

housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Lynne Drive. The proposed building elevations have also been provided in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On June 29, 2021, staff mailed 130 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021025

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 154 Lynne Dr Rockwall TX 75032
 SUBDIVISION Rockwall Lake LOT 908-A BLOCK
 GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	CURRENT USE	
PROPOSED ZONING	PROPOSED USE	
ACREAGE	LOTS [CURRENT]	LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Kevin Osornio APPLICANT

CONTACT PERSON Kevin Osornio CONTACT PERSON

ADDRESS 220 Crawford Ln ADDRESS

CITY, STATE & ZIP Rockwall City TX 75089 CITY, STATE & ZIP

PHONE 214-957-7984 PHONE

E-MAIL h.enterprise7@yahoo.com E-MAIL

NOTARY VERIFICATION [REQUIRED]

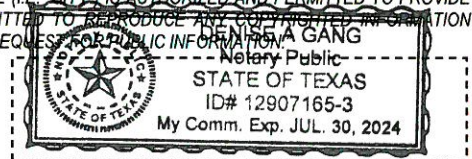
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Osornio [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF June, 20 21 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

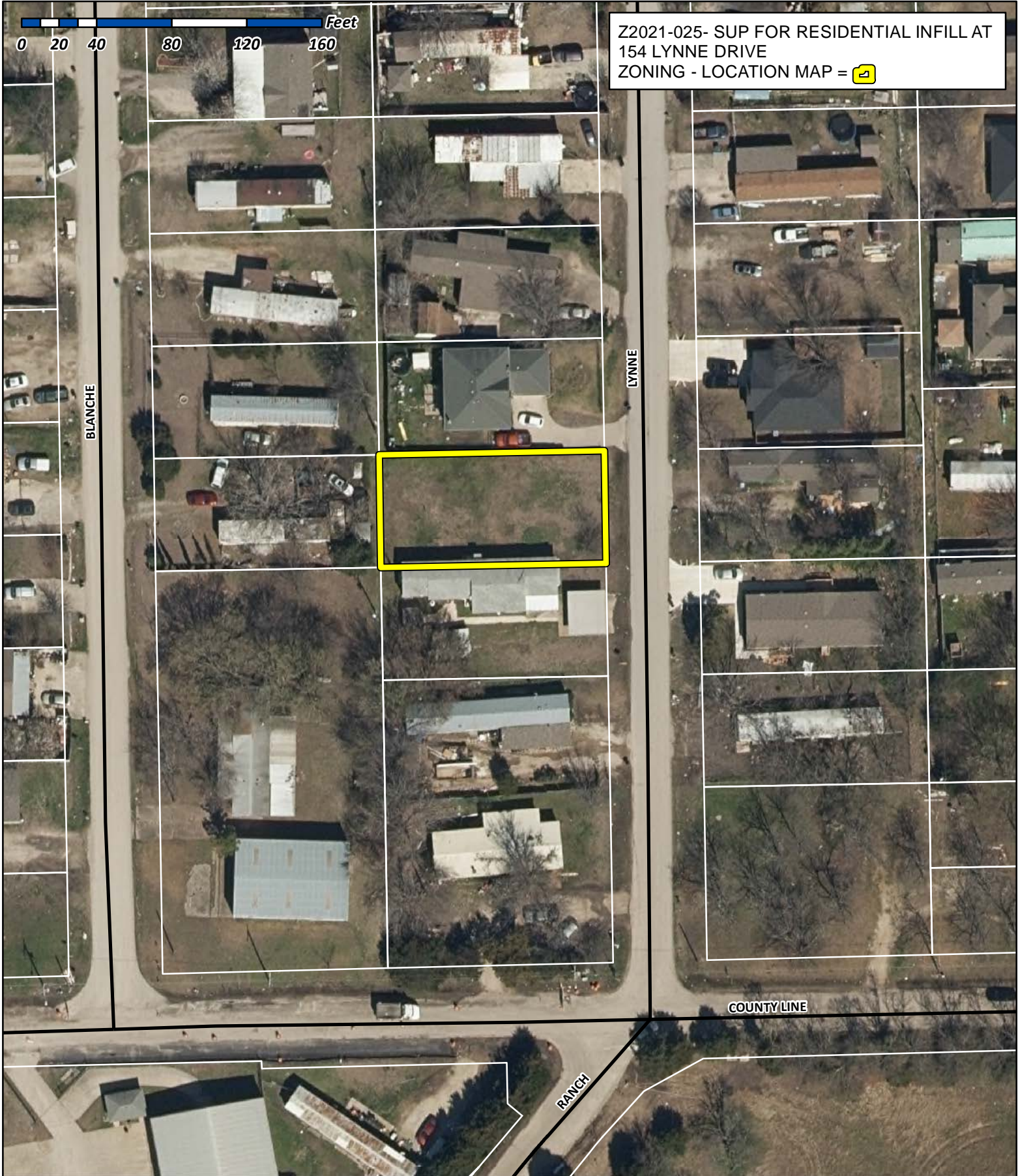
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF June, 20 21.

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES July 30, 2024



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

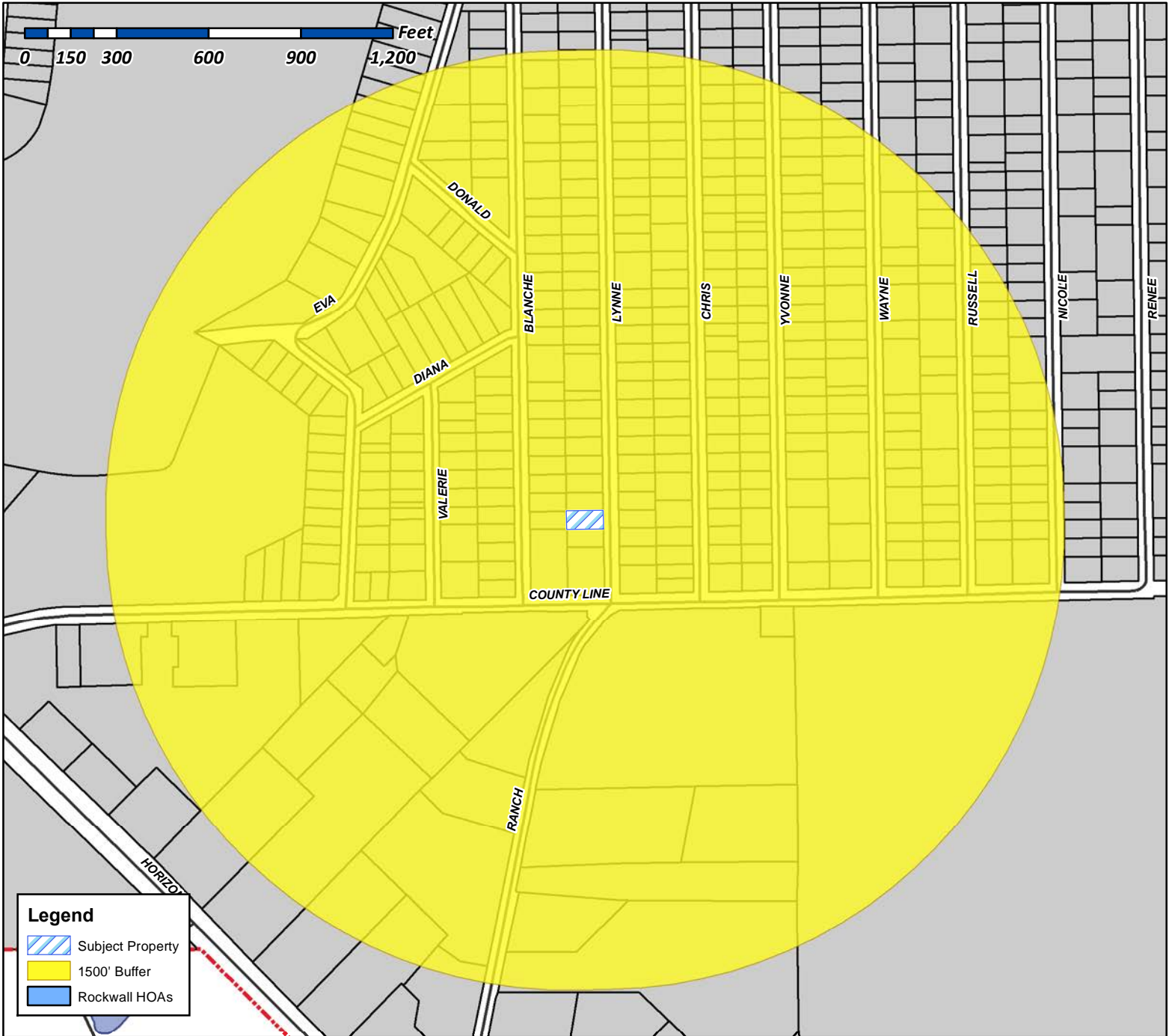




City of Rockwall

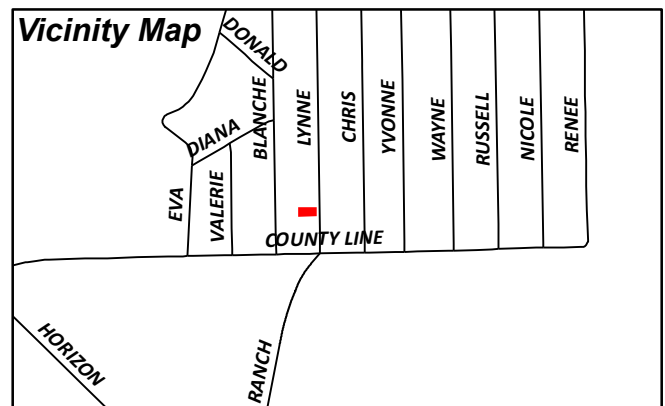
Planning & Zoning Department
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Case Number: Z2021-025
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 154 Lynne Drive

Date Created: 6/19/2021
 For Questions on this Case Call (972) 771-7745



SALAS HECTOR JABIER & CAROLINA ORTIZ
1000 W YELLOWJACKET LANE APT 2507
ROCKWALL, TX 75087

VARGAS RICARDO
109 BLANCHE DR
ROCKWALL, TX 75032

SALAS ALBERTO R & ADELA A
109 VALERIE PL
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
112 CHRIS DR
ROCKWALL, TX 75032

PEREZ GILBERTO AND
JUANITA PEREZ
112 LYNNE DR
ROCKWALL, TX 75032

CANIZALES ELIDA VILLAREAL
115 CHRIS DR
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
118 BLANCHE DR
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
120 BLANCHE DR
ROCKWALL, TX 75032

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

ARCHIBALD L D & CARLA R REVOCABLE
LIVING TRUST
121 LYNNE DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

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ROCKWALL, TX 75032

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124 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ RICARDO
124 YVONNE DR
ROCKWALL, TX 75032

RANGEL ADELA
125 CHRIS DR
ROCKWALL, TX 75032

ESPARZA JUANA
12622 SE 27TH AVE
PORTLAND, OR 97222

LICEA JOSE DELFINO
130 CHRIS DR
ROCKWALL, TX 75032

LICEA JOSE DELFINO
131 LYNNE DR
ROCKWALL, TX 75032

FLORES DAYANARA &
JAMES GLEASON
132 BLANCHE DR
ROCKWALL, TX 75032

PAVON MARISOL
132 VALERIE PL
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX 75032

HILTON THOMAS
135 CHRIS DRIVE
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR
137 VALERIE PL
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

LOC PHU AND VINCENT TONG
1414 BUFFALO WOODS CT
KATY, TX 77494

LICEA JOSE DELFINO
143 LYNNE DR
ROCKWALL, TX 75032

GARCIA MARTIN
144 BLANCHE DR
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
144 LYNNE DR
ROCKWALL, TX 75032

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

VALDEZ MARY ESTHER
148 VALERIE PL
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
149 VALERIE PL
ROCKWALL, TX 75032

MEZA FRANCISCO J AND YOLANDA S
150 CHRIS DR
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
154 LYNNE DR
ROCKWALL, TX 75032

VAZQUEZ RAMON LOPEZ
156 BLANCHE DR
ROCKWALL, TX 75032

PEREZ GILBERTO AND
JUANITA PEREZ
157 LYNNE DR
ROCKWALL, TX 75032

KUO DANIEL
1580 COASTAL DRIVE
ROCKWALL, TX 75087

BETETA RUTH E
159 CHRISDR
ROCKWALL, TX 75032

TEPOX FABIOLA DOMINGUEZ
159 VALERIE PL
ROCKWALL, TX 75032

DURAN ROCIO
160 VALERIE PL
ROCKWALL, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

VARGAS RICARDO
163 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ JOSE O AND MIRIAM G SALAZAR
AND
JESUS HERNANDEZ SALAZAR
164 LYNNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CHEPETLA ANTHONY
167 LYNNE DRIVE
ROCKWALL, TX 75032

PALICIOS MARIA
168 BLANCHE DR
ROCKWALL, TX 75032

CITY OF ROCKWALL
168 VALERIE PL
ROCKWALL, TX 75032

LOZANO ISIDRO
1705 HIGH MEADOW DR
GARLAND, TX 75040

HERNANDEZ BENJAMIN AND
MARIANA SIFUENTES
172 VALERIE PL
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

GOMEZ ALEJANDRO
175 BLANCHE DR
ROCKWALL, TX 75032

LOC PHU AND VINCENT TONG
175 VALERIE PL
ROCKWALL, TX 75032

OLIVARES JAIME
178 BLANCHE DR
ROCKWALL, TX 75032

PALICIOS ARIEL
178 LYNNE DR
ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I
178 VALERIE PL
ROCKWALL, TX 75032

CRUZ IGNACIO
179 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA
185 BLANCHE DR
ROCKWALL, TX 75032

ESQUIVEL ZAIDA
186 CHRIS DRIVE
ROCKWALL, TX 75032

RETANA JOSE L
187 LYNNE DR
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO &
MARIA BLANCA RESENDIZ
187 VALERIE PL
ROCKWALL, TX 75032

ALVAREZ FRANCISCO J
190 BLANCHE DR
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO &
KARLA CAMACHO
190 YVONNE DR
ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA
192 LYNNE DR
ROCKWALL, TX 75032

LOZANO ISIDRO
192 VALERIE PL
ROCKWALL, TX 75032

RANGEL JUAN
193 CHRIS DR
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

CARMONA JOEL
196 CHRIS DR
ROCKWALL, TX 75032

MELENDEZ HOPE
199 DIANA DR
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PL
ROCKWALL, TX 75032

ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

CORDOVA JUAN JOSE RANGEL
203 CHRIS DR
ROCKWALL, TX 75032

WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVIS-
WILSON
203 LYNNE DRVE
ROCKWALL, TX 75032

REYES MARIA ISABEL AND RAMIRO M
204 CHRIS DR
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
204 LYNNE DR
ROCKWALL, TX 75032

MEDINA MARIA V AND
MARITZA ALONSO
204 YVONNE
ROCKWALL, TX 75032

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

CANADY JERRY ANN
209 VALERIE PL
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
212 LYNNE DR
ROCKWALL, TX 75032

BALDERAS LEANDRO & LAURA
213 CHRIS DR
ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ
214 BLANCHE DR
ROCKWALL, TX 75032

WILSON JAMES F & ROBERTA B J
215 LYNNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
216 CHRIS DR
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
219 BLANCHE DR
ROCKWALL, TX 75032

RUIZ JOSE C
219 VALERIE PL
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

ESPARZA JUANA
225 LYNNE DR
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
226 BLANCHE DRIVE
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
229 BLANCHE DR
ROCKWALL, TX 75032

KUO DANIEL
229 VALERIE PL
ROCKWALL, TX 75032

YANEZ MARIA TERESA
230 CHRIS DR
ROCKWALL, TX 75032

PEREZ FERMIN
230 LYNN DRIVE
ROCKWALL, TX 75032

CONFIDENTIAL
230 LYNNE DR
ROCKWALL, TX 75032

HERNANDEZ GUILLERMINA
231 CHRIS DRIVE
ROCKWALL, TX 75032

UGALDE VICENTE R
234 BLANCHE DR
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

MILESTONE ELECTRIC INC
2360 CRIST ROAD SUITE B900
GARLAND, TX 75040

UGALDE VICENTE R
238 BLANCHE DR
ROCKWALL, TX 75032

CARRILLO JAIME
242 CHRIS DR
ROCKWALL, TX 75032

TONG VINCENT
247 BLANCHE DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
254 LYNNE DR
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ RICARDO
2847 TANGLEGLEN DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I
3248 BLACKLAND RD
ROYSE CITY, TX 75189

PALICIOS MARIA
365 LYNNE DR
ROCKWALL, TX 75032

MEZA FRANCISCO J AND YOLANDA S
3778 PR 3843
QUINLAN, TX 75474

BIG BUCK PROPERTIES LLC
382 RANCH TRL
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO &
MARIA BLANCA RESENDIZ
397 CHRIS DR
ROCKWALL, TX 75032

LOZANO ISIDRO
420 COUNTY LINE RD
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
430 RENEE DRIVE
ROCKWALL, TX 75032

CORDOVA JUAN JOSE RANGEL
4427 FM 550
ROYSE CITY, TX 75189

RANGEL JUAN
4427 FM 550
ROYSE CITY, TX 75187

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
505 COUNTY LINE RD
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
5508 FOREST LANE
DALLAS, TX 75230

ROCKWALL LAKE PROPERTIES
5713 SECREST CT
GOLDEN, CO 80403

REYES MARIA ISABEL AND RAMIRO M
603 S CREEK DR
ROYSE CITY, TX 75189

FLORES DAYANARA &
JAMES GLEASON
611 MEADOW DR
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR
6379 KLONDIKE RD
RIPLEY, NY 14775

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

PAVON MARISOL
810 E. DOUGHERTY DR
GARLAND, TX 75041

GARCIA MARTIN
852 ROSE LANE
ROCKWALL, TX 75087

BIG BUCK PROPERTIES LLC
PO BOX 2107
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-025: Specific Use Permit for a Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Kevin Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 908A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 154 Lynne Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 13, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-025: Specific Use Permit for a Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Blank area for providing reasons for support or opposition]

Name: [Blank]
Address: [Blank]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Lee, Henry

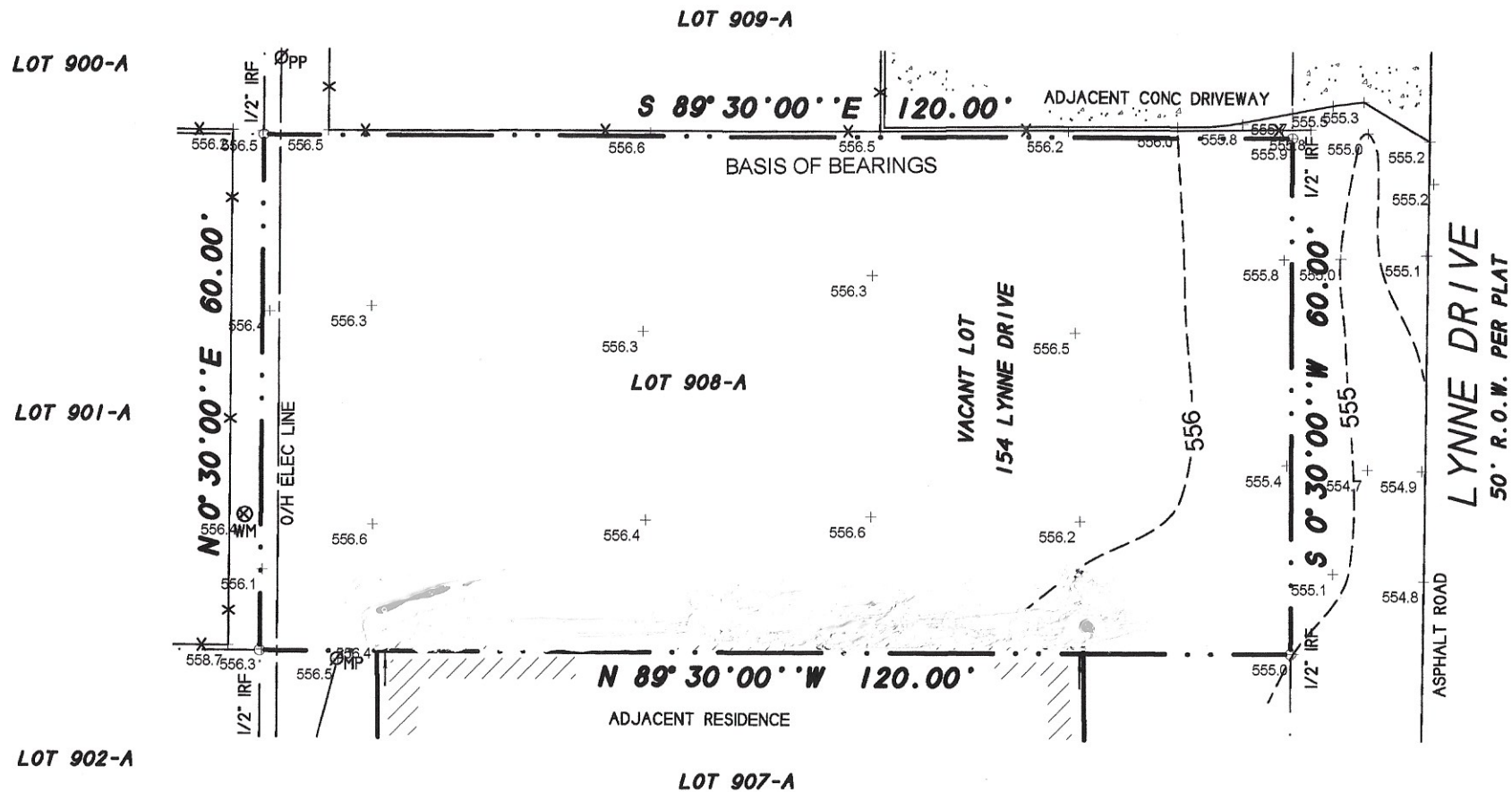
From: Chuy Hernandez <chilango9265@gmail.com>
Sent: Friday, July 2, 2021 6:49 PM
To: Planning
Subject: Case No Z2021-025

Im opposing the living house it is to large and to close to my property it is also zoned out in very little acreage.Jesus Hernandez 164 lynne rockwall Texas,75032

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

PLAT OF SURVEY



DESCRIPTION


BEING Lot 908-A, Rockwall Lake Subdivision, Section II, formerly, Lake Echo Subdivision, an Addition to Rockwall County, Texas, and being recorded in Cabinet A, Slides 79 and 80, of the Plat Records of Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Arturo Osornio at 154 Lynne Drive, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 7th day of May, 2020.


 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND					
⊕	⊗	⊠	⊠	⊕	⊕
TELEVISION CABLE RISER	GAS METER	TEL RISER	FIRE HYDRANT	PP POWER POLE	
▲	⊠	⊗	⊕	⊕	⊕
ELEC ELECTRIC METER	ELEC BOX	WM WATER SUBSURFACE JUNCTION BOX	LP LIGHT POLE	1/2" IRF IRON ROD FOUND (CORNER)	⊕
-X-	- - -	- - -	A/C	AIR COND. UNIT	⊕
FENCE	EASEMENT LINE	PROPERTY LINES		PROPANE TANK	

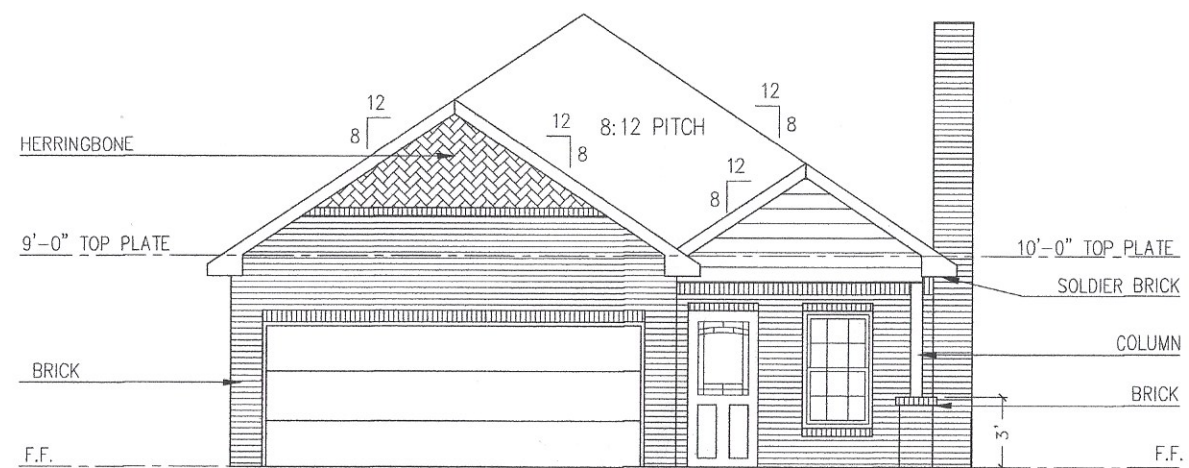
SURVEY ACCEPTED BY:

DATE _____

DATE _____

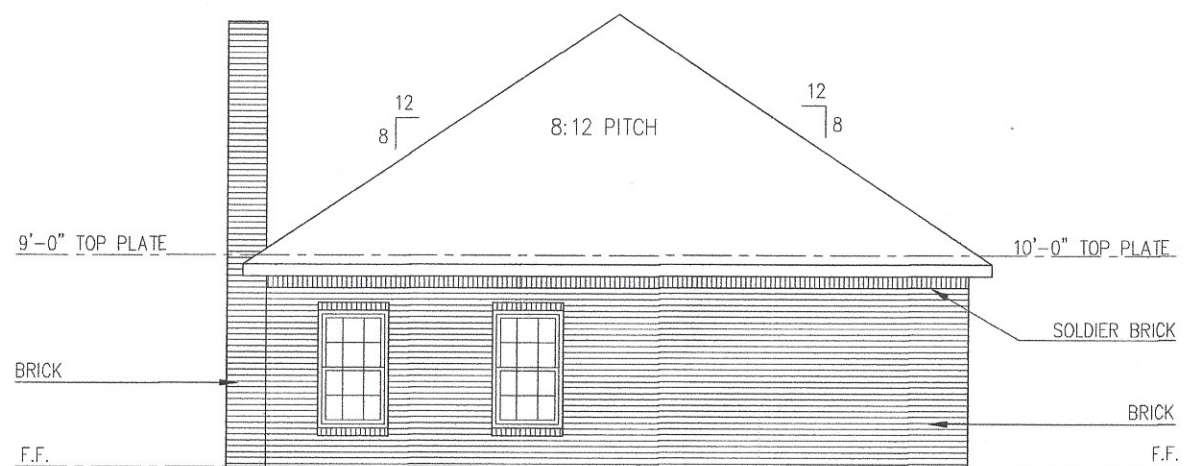
H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 10150900
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE MAY 7, 2020
 SCALE 1" = 20' FILE # 20200145
 CLIENT OSORNIO GF # NONE



FRONT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

REVISIONS:

- 1
- 2
- 3
- 4

New Residence
425 Bass Drive
Rockwall, Texas

DRAWN BY:

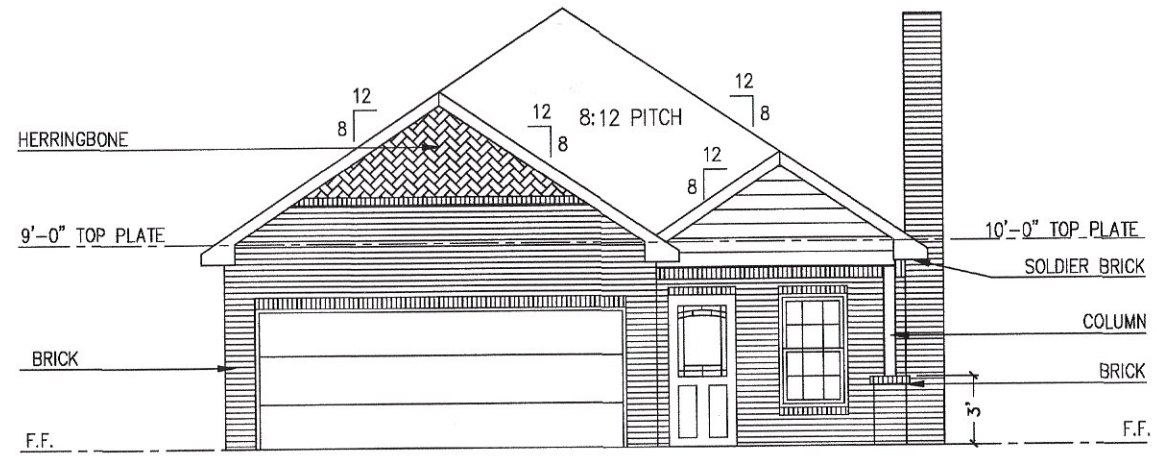
vg

ISSUED ON:

PLAN NAME:

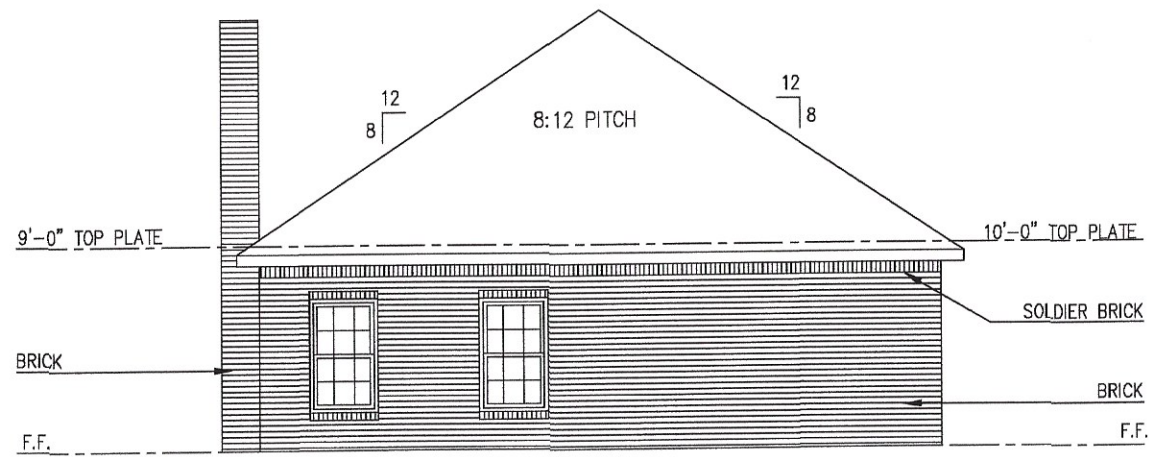
**SHEET
A1**

1 of 5



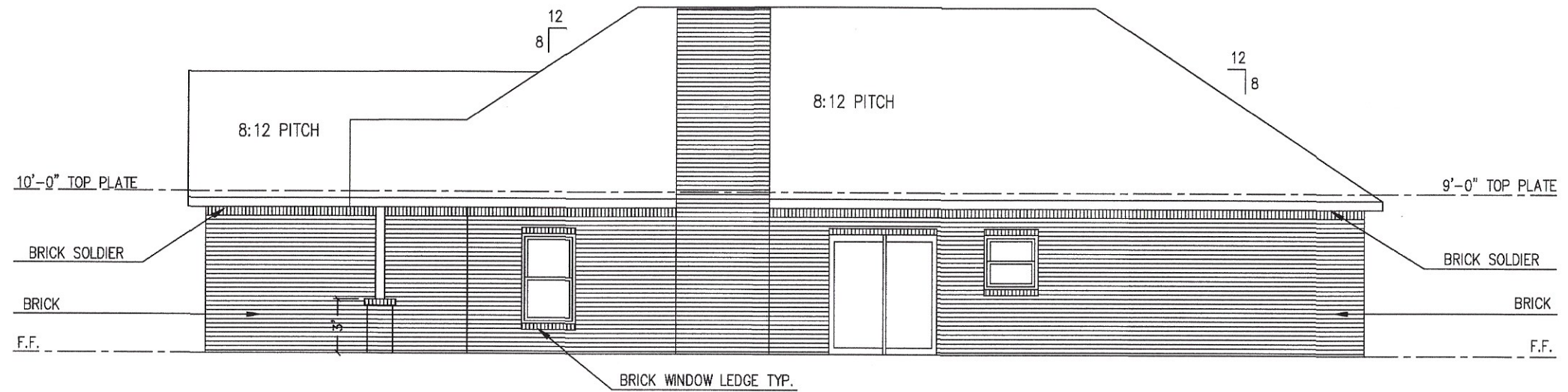
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



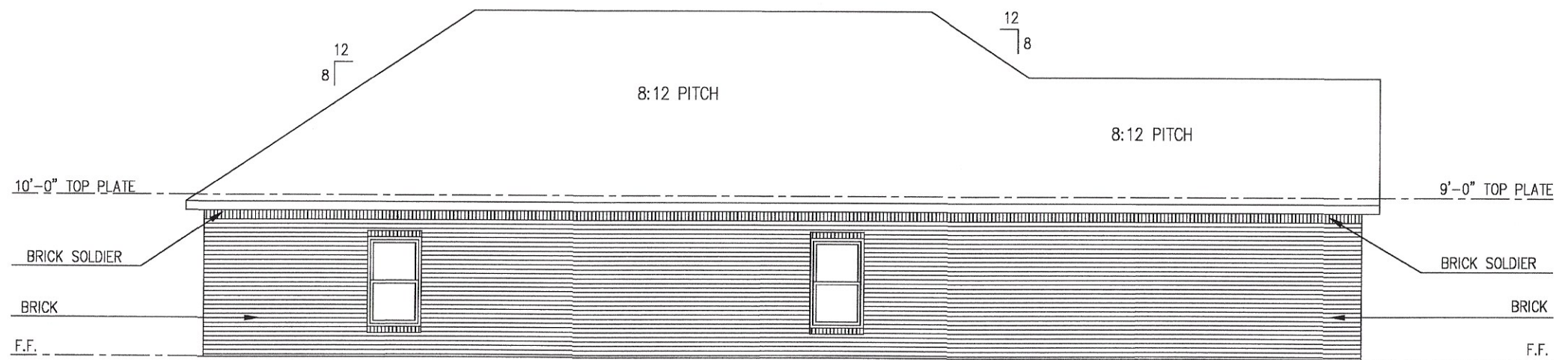
REAR ELEVATION

SCALE: 1/8" = 1'-0"



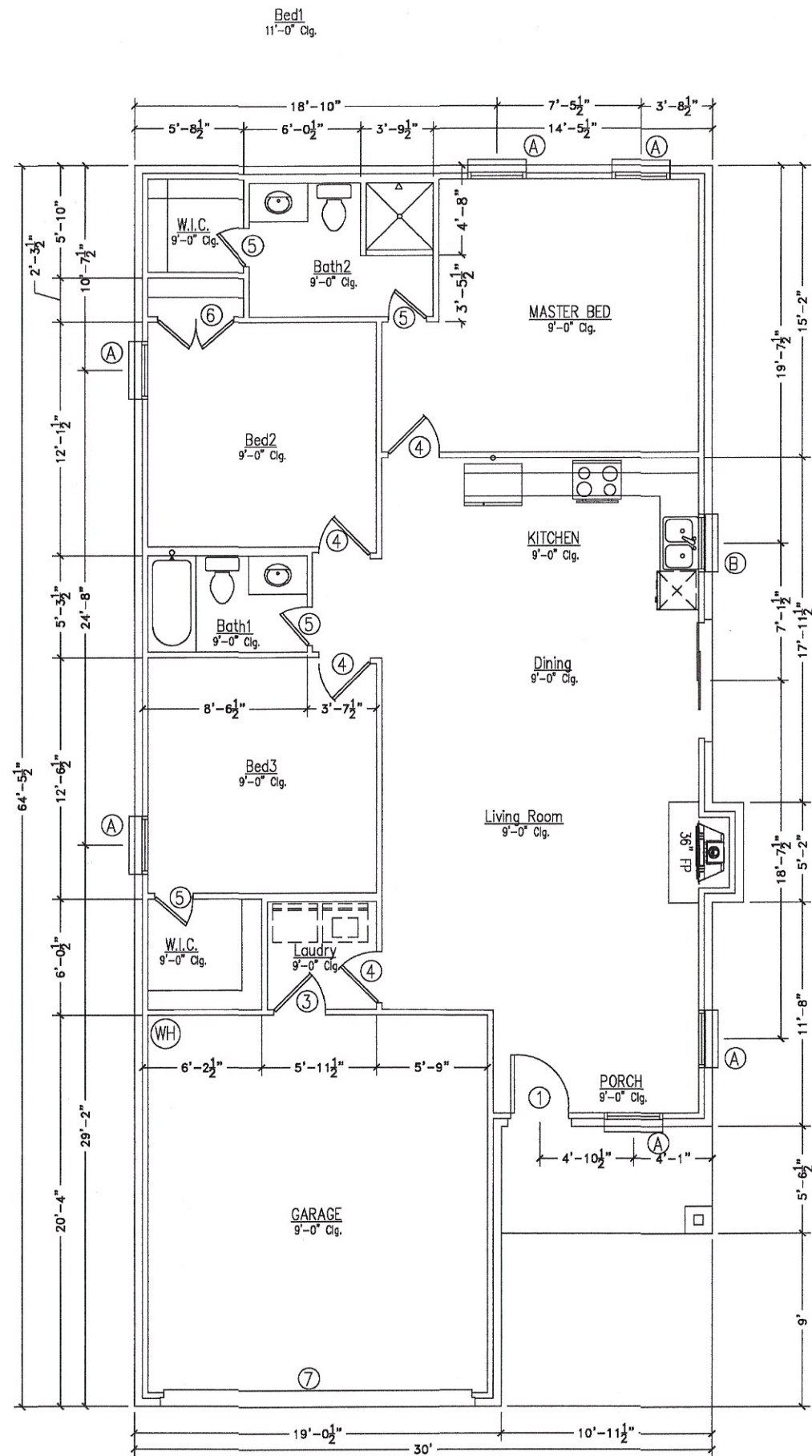
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



AREA CALCULATIONS	
ELEV	
1ST FLOOR LIVING	1400 S.F.
PATIO	60 S.F.
GARAGE	384 S.F.
TOTAL UNDER ROOF	1844 S.F.

DOOR SCHEDULE			
SYMBOL	SIZE	TYPE	QTY.
①	3068	EXT.	1
②	6068	EXT. SLIDING	1
③	2868	INT. METAL	1
④	2868	INT.	4
⑤	2068	INT.	4
⑥	2-2068	INT.	1
⑦	16070	GARAGE	1

WINDOW SCHEDULE			
SYMBOL	SIZE	TYPE	QTY.
(A)	3060	SH. TAN VINYL.	6
(B)	3030	SH. TAN VINYL.	1

GENERAL NOTES:

- All roof rafters shall be 2x6's @ 24" o.c. unless noted otherwise.
- All ridges and valleys shall be 2x8's unless noted otherwise.
- Purlins shall be placed to reduce rafter spans to 11'-4" or less.
- Rafters, ridges, and valleys shall be #2 S.Y. Pine or equal.
- Furr down 2x6 rafters with 2x2's in all areas of sloped ceilings. Attach with 3 1/2" screws @ 6" o.c.
- Beam and purlin loads shall be distributed to walls or double ceiling joists by T columns of 2-2x6's.
- Collar ties shall be placed @ 48" o.c. max at ridges.
- Struts shall be 2-2x4's at an angle greater than 46 degrees.
- All ceiling joists to be 2x6's @ 24" o.c. unless noted otherwise.
- Ceiling joists shall be #2 S.Y. Pine unless noted otherwise and shall not exceed the following spans:

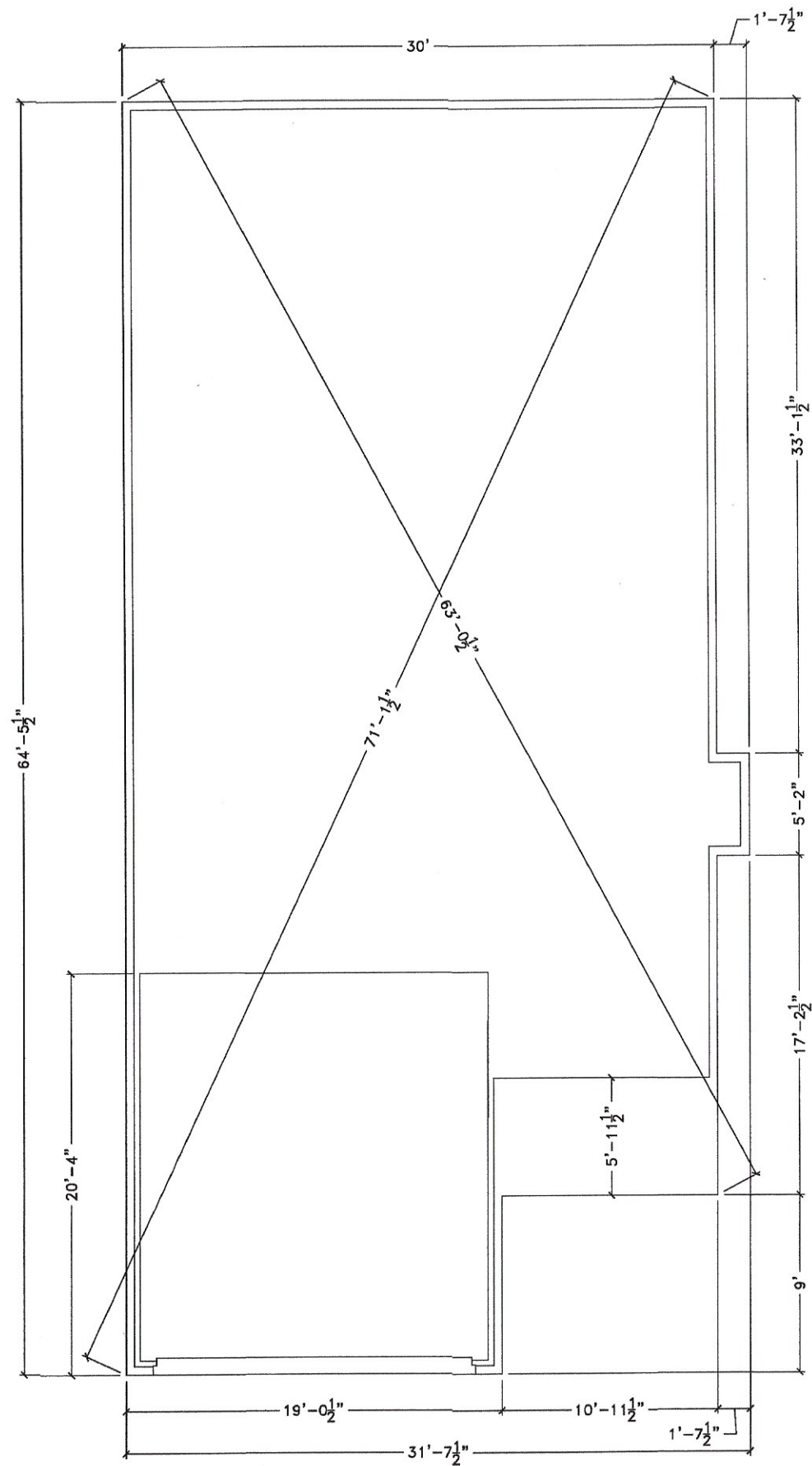
NO STORAGE	LIMITED STORAGE
2x6 - 13'-6" @ 24" o.c.	2x6 - 9'-10" @ 24" o.c.
2x8 - 17'-7" @ 24" o.c.	2x8 - 12'-6" @ 24" o.c.
2x10 - 20'-11" @ 24" o.c.	2x10 - 14'-9" @ 24" o.c.
- Roof shall be comp. shingles.

GENERAL NOTES:

- ALL WORK SHALL BE IN STRICT CONFORMANCE TO ALL APPLICABLE CODES, REGULATIONS AND LAWS.
- ALL WALLS SHALL BE 3 1/2". UNLESS NOTED OTHERWISE.
- ALL PLUMBING WALLS TO BE 5 1/2".
- ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.

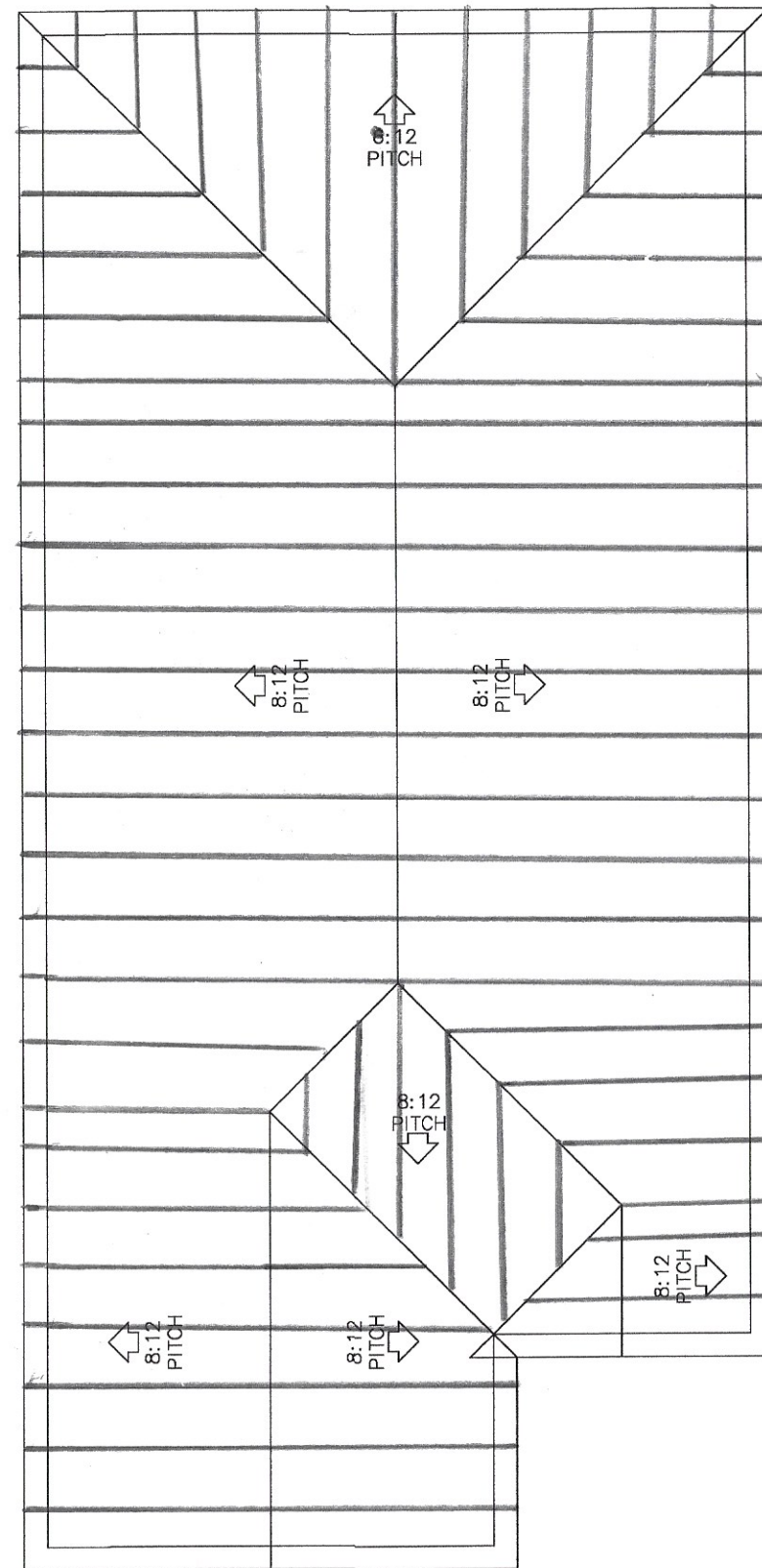
1st FLOOR PLAN

SCALE: 1/8" = 1'-0"



FORM LAYOUT

SCALE: 1/8" = 1'-0"



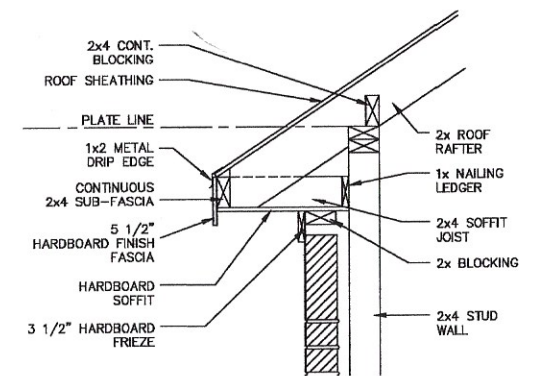
ROOF PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. All roof rafters shall be 2x6's @ 24" o.c. unless noted otherwise.
2. All ridges and valleys shall be 2x8's unless noted otherwise.
3. Purlins shall be placed to reduce rafter spans to 11'-4" or less.
4. Rafters, ridges, and valleys shall be #2 S.Y. Pine or equal.
5. Furr down 2x6 rafters with 2x2's in all areas of sloped ceilings. Attach with 3 1/2" screws @ 6" o.c.
6. Beam and purlin loads shall be distributed to walls or double ceiling joists by T columns of 2-2x6's.
7. Collar ties shall be placed @ 48" o.c. max at ridges.
8. Struts shall be 2-2x4's at an angle greater than 46 degrees.
9. All ceiling joists to be 2x6's @ 24" o.c. unless noted otherwise.
10. Ceiling joists shall be #2 S.Y. Pine unless noted otherwise and shall not exceed the following spans:

NO STORAGE		LIMITED STORAGE	
2x6	- 13'-6" @ 24" o.c.	2x6	- 9'-10" @ 24" o.c.
2x8	- 17'-7" @ 24" o.c.	2x8	- 12'-6" @ 24" o.c.
2x10	- 20'-11" @ 24" o.c.	2x10	- 14'-9" @ 24" o.c.
11. Roof shall be comp. shingles.



01 TYP. EAVE @ 8:12 PITCH

HEAD SIM.



124 Lynne Drive



131 Lynne Drive



136 Lynne Drive



143 Lynne Drive



144 Lynne Drive



157 Lynne Drive



164 Lynne Drive



167 Lynne Drive



178 Lynne Drive



187 Lynne Drive



192 Lynne Drive



203 Lynne Drive



204 Lynne Drive

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.165-ACRE TRACT OF LAND, IDENTIFIED AS LOT 908A, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kevin Osornio for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.165-acre tract of land identified as Lot 908A, Rockwall Lake Properties Development #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 154 Lynne Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2TH DAY OF AUGUST, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 19, 2021

2nd Reading: August 2, 2021

Exhibit 'A'
Location Map

Address: 154 Lynne Drive

Legal Description: Lot 908A, Rockwall Lake Estates #2 Addition

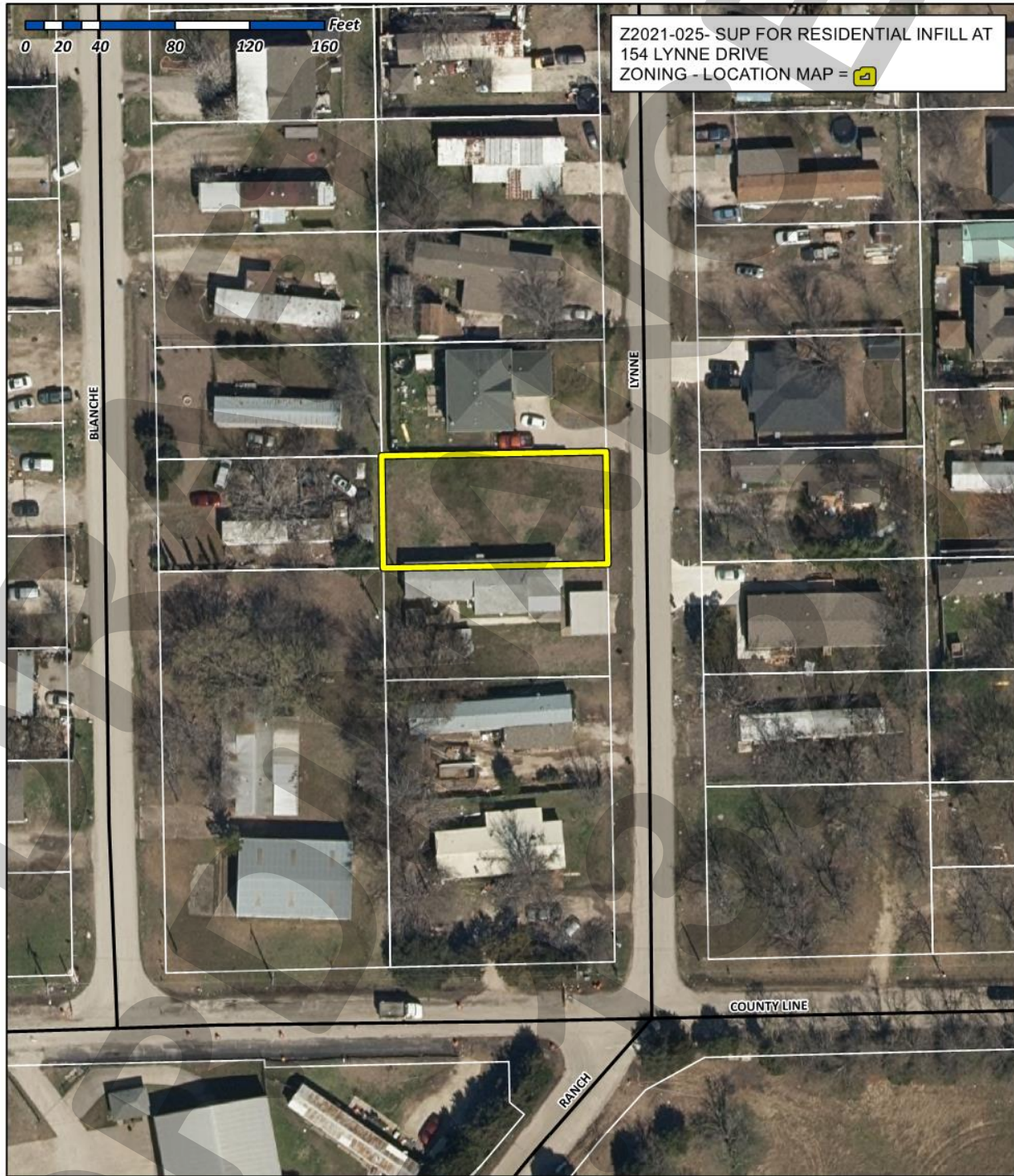
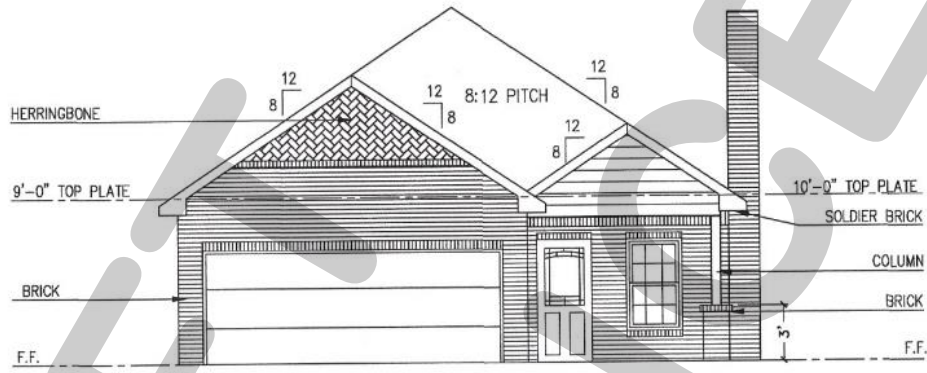
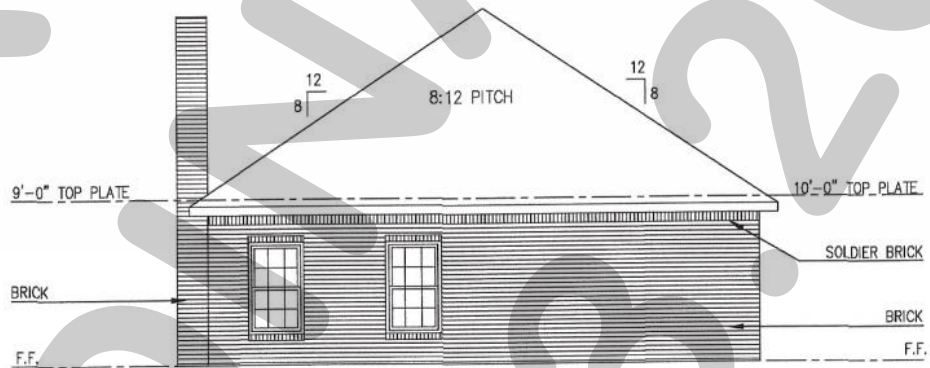


Exhibit 'C':
Building Elevations



FRONT ELEVATION

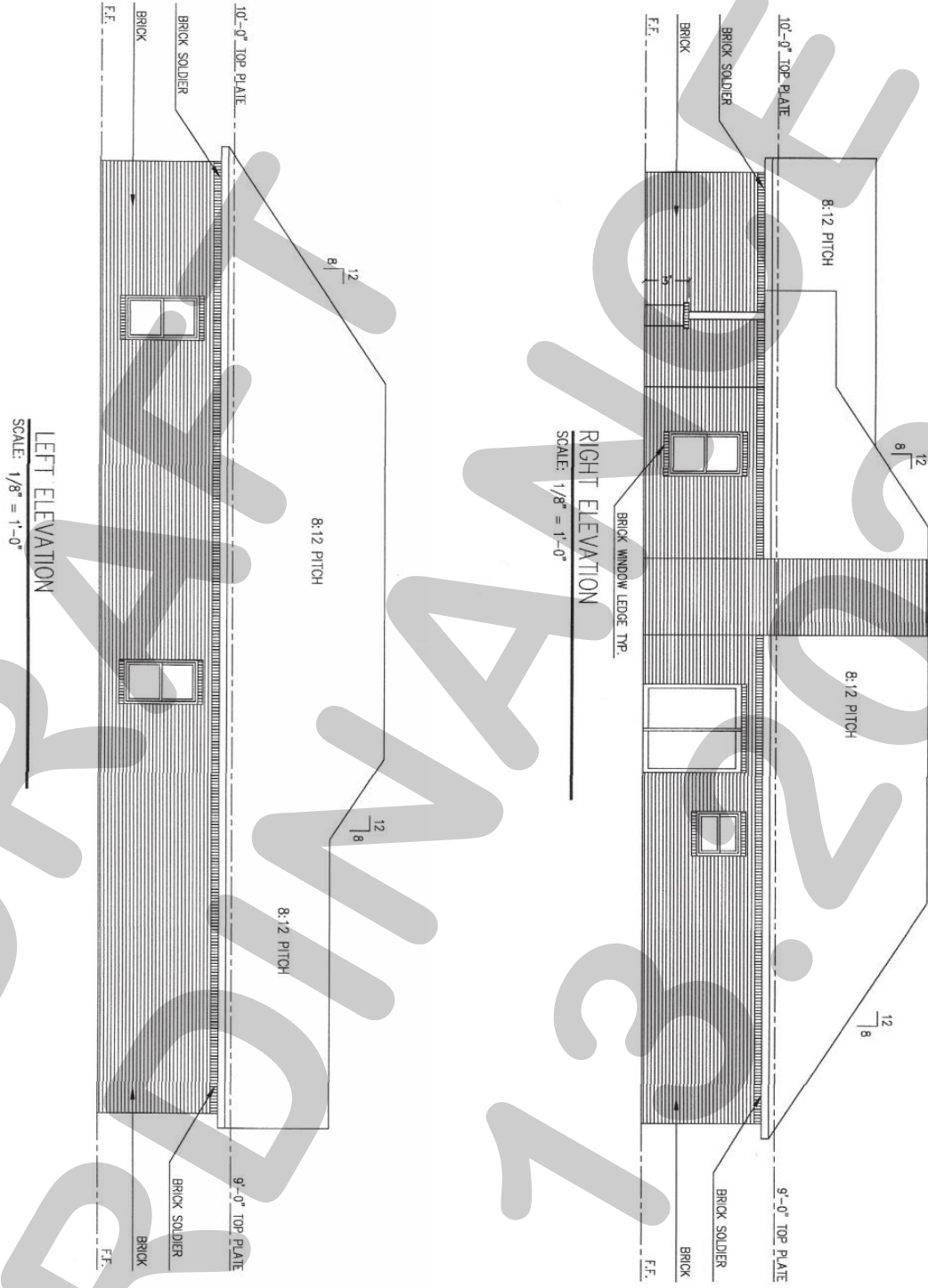
SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 13, 2021
APPLICANT: Troy Lewis; *Newstream Capital Partners*
CASE NUMBER: Z2021-026; *Amendment to Planned Development District 8 (PD-8) for Townhomes*

SUMMARY

Hold a public hearing to discuss and consider a request by Troy Lewis of Newstream Capital Partners for the approval of an Zoning Change to amend Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] for the purpose of allowing townhomes on a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] for Zero Lot Line (ZL-5) District land uses, generally located south on the south side of Henry M. Chandler Drive west of Ridge Road [*FM-740*], and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall and zoned Agricultural (AG) District on October 29, 1973 (*Ordinance No. 73-43*). On November 12, 1973, the subject property was rezoned to Planned Development District 8 (PD-8) and designated for a *Multi-Family Structure* or *Condominium* by *Ordinance No. 73-48*. This designation was amended on October 19, 1992 by *Ordinance No. 92-39 (Case No. PZ1992-008-01)*, which re-designated the subject property to allow 36 zero-lot-line, single-family homes. The subject property is an un-platted 6.88-acre tract of land located on Henry M. Chandler Drive, adjacent to the Chandler's Landing Marina and the Spyglass Condominiums, in the Chandler's Landing community.

On October 13, 2017, a request was made by Ed Cavendish of Cavendish Homes/VPS Construction requesting to reinstate the preliminary plat that was approved in 1992 in accordance with *Ordinance No. 92-39*. This preliminary plat depicted the proposed layout for the 36 zero-lot-line, single-family homes. The Planning and Zoning Commission approved the reinstatement request October 24, 2017; however, the applicant ultimately choose to submit an application on November 17, 2017 requesting to amend *Ordinance No. 92-39* to allow for a 48-unit townhome development (*Case No. Z2017-059*). This request was denied by the City Council on February 5, 2018 by vote of 2-4 with then Mayor Pruitt and Council Members Fowler, Lewis and Macalik dissenting.

PURPOSE

On June 18, 2021, the applicant -- *Troy Lewis of Newstream Capital Partners* -- submitted an application requesting amend Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] to allow a townhome development consisting of 36 townhomes.

ADJACENT LAND USES AND ACCESS

The subject property is located on the south side of Henry M. Chandler Drive west of the intersection of Henry M. Chandler Drive and Ridge Road [*FM-740*]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Henry M. Chandler Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are Phases 1 & 2 of the Harbor Landing Subdivision, which are located within the Chandler's Landing Community and zoned Planned Development District 8 (PD-8).

South: Directly south of the subject property is the corporate boundary between the City of Rockwall and the City of Heath. Situated in the City of Heath adjacent to the subject property are several single-family homes.

East: Directly east of the subject property is Phase 3 of the Spyglass Hill Subdivision, which is composed of 46-condominiums and zoned Planned Development District 8 (PD-8). Beyond this are Phases 1 & 2 of the Spyglass Hill Subdivision, which are composed of 110-condominiums (*i.e. Phase 1 has 67-condominiums and Phase 2 has 43-condominiums*) and zoned Planned Development District 8 (PD-8).

West: Directly west of the subject property is the Chandler's Landing Marina, which is located within the takeline for Lake Ray Hubbard (*i.e. owned by the City of Dallas and leased by the City of Rockwall*). Beyond this is Lake Ray Hubbard.

CHARACTERISTICS OF THE REQUEST

According to the concept plan provided by the applicant the proposed townhome development will consist of 36, 30-foot by 110-foot (*or a minimum of 3,300 SF*) townhome lots that will be broken up into blocks of four (4) to six (6) lots. The development will incorporate approximately 41.40% (*or 2.85-acres*) open space, which will surround the buildings and provide a buffer from *Spyglass, Phase 3 (which is located directly east of the subject property)* and the Chandler's Landing Marina (*which is located west of the subject property*). The concept plan also shows that all of the proposed lots will have *flat-front entry* garages with 26 of the lots having the garage *at-grade* on the upper floor and ten (10) of the lots having the garage *at-grade* on the lower floor. The applicant has not provided staff with example elevations of the lot product; however, the applicant has agreed to incorporate masonry requirements into the draft ordinance which will require the townhomes exteriors to incorporate minimum of 90% masonry materials. Staff should note that the applicant has requested that the streets be private and maintained by the Homeowner's Association (HOA). Staff has included this condition in the proposed draft ordinance with the stipulation that the applicant provide a 29-foot *back-to-back* concrete street built to the City's standards. A summary of the proposed density and dimensional requirements for this project are as follows:

Table 2: Lot Dimensional Requirements

Minimum Lot Width	30'
Minimum Lot Depth	110'
Minimum Lot Area	3,300 SF
Minimum Front Yard Setback ⁽¹⁾	20'
Minimum Side Yard Setback ⁽²⁾	0'/25'
Minimum Side Yard Setback (Adjacent to a Street)	15'
Minimum Length of Driveway Pavement from Front Property Line	25'
Maximum Height ⁽³⁾	30'
Minimum Rear Yard Setback	20'
Minimum Area/Dwelling Unit (SF) [Sum of All Floor Area's]	1,900 SF
Maximum Lot Coverage	90%

General Notes:

- 1: Porches, stoops, bay windows, balconies, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to five (5) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks* where appropriate for such use and shall not encroach into the private right-of-way.
- 2: The side yard setback on the attached side maybe zero (0) if directly abutting a structure on an adjacent lot.
- 3: The Maximum Height shall be measured to the midpoint of the roof of the single-family home, and in no case should any home exceed an elevation of 500-feet above sea level.

Staff has requested that the applicant incorporate anti-monotony standards that require a minimum of two (2) intervening homes of differing appearance be used before the same material blend/building elevation is utilized; however, the applicant has requested to reduce this to one (1) intervening home. Staff should point out that neither of these standards would adhere to the minimum anti-monotony standards (*see the Conformance to the City's Codes section below*). In addition, staff should also note that when *Ordinance No. 92-39* was approved, the City Council established maximum finished floor elevations for each building pad on the proposed concept plan. The purpose of these maximums was to ensure that the views of the properties, located directly east (*i.e. Spyglass, Phase 3*) of the subject property, would not be affected by the proposed development. In conformance with these requirements the applicant has stated that the highest roof elevation of any townhome will be at an elevation of 500-feet above sea level. This is eight (8) feet below the highest elevation permitted under *Ordinance No. 92-39*. Staff has included this in the conditions of approval for this case.

INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. All of the private residential streets will need to have a minimum of 50-feet of right-of-way with a 29-foot *back-to-back* concrete street. All private streets shall be maintained by the Homeowner's Association (HOA). A minimum of a five (5) sidewalk be constructed along Henry M. Chandler Drive.
- (2) Water. The applicant shall be required to loop an eight (8) inch waterline through the site, and no dead-end water lines will be permitted.
- (3) Wastewater. The applicant will be required to tie into the existing eight (8) inch sanitary sewer line with a minimum of an eight (8) inch sanitary sewer line.
- (4) Drainage. Detention is not required as long as the proposed development drains to Lake Ray Hubbard. This will require the applicant to obtain permission from the City of Dallas to outfall the water and for a stormwater easement leading to the lake.

CONFORMANCE TO THE CITY'S CODES

It should be noted that the development standards contained within the PD Ordinance deviate from the requirements of the Unified Development Code (UDC) and the Engineering Department's Standards of Design and Construction Manual in the following ways:

- (1) Garages. The applicant is proposing to incorporate approximately 100% flat front entry garages. According to the Engineering Department's *Standards of Design and Construction Manual*, "(a)lleys shall be provided in all residential areas ... (t)he City Council may waive the residential alley requirement upon determination by the Council, if it is in the best interest of the City." In addition, Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), only allows traditional swing (*i.e. J-Swing*) or recessed front entry (*i.e. where the garage is setback a minimum of 20-feet behind the front façade of the home*). The applicant's request does not conform to either standard; however, staff should note that the applicant is proposing a minimum 25-foot driveway, which is typically required with any flat front entry product per the OURHometown Vision 2040 Comprehensive Plan.
- (2) Anti-Monotony Standards. According to Subsection 03.01(D), *Anti-Monotony*, of the Unified Development Code (UDC), "(t)he front building elevations of a home shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street ... (t)he rear elevation of homes backing to open spaces or thoroughfares shall not repeat without at least five (5) intervening homes of differing appearance." In this case, the applicant is requesting that only one (1) intervening home of differing appearance be required.
- (3) Lot Size. Currently, the City of Rockwall does not have standards or a zoning district that would permit a townhome product with the exception of the Two Family (2F) or Multi-Family 14 (MF-14) Districts. In addition, the City's smallest single-family lot size permitted by the Unified Development Code (UDC) is 5,000 SF, which is permitted in the Zero Lot Line (ZL-5) District. The Two Family (2F) District -- *which could accommodate a Townhouse based on the permitted side yard setbacks* -- requires a minimum lot size of 7,000 SF. In this case, the applicant is proposing a minimum lot size of 3,300 SF.
- (4) Lot Width. The minimum lot width in the Two Family (2F) District is 60-feet. The applicant is requesting a minimum lot width of 30-feet.

By approving the proposed Planned Development District, the City Council is waiving these standards.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Marina District* and is designated for *Medium Density Residential* land uses on the Future Land Use Plan. According to the Comprehensive Plan, *Medium Density Residential* land uses are defined as "... residential subdivisions that are greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ...". In this case, the applicant is proposing a density of 5.23 dwelling units per gross acre, which is characteristic of a *High Density Residential* land use designation (*i.e. anything greater than three [3] units per gross acre*). Based on this, the applicant's request would require this property to change from a *Medium Density Residential* designation to a *High Density Residential* designation. Staff should point out that the current zoning on the subject property allows 36 single-family homes, which is the same density as the proposed zoning change; however, when the Future Land Use Plan was being considered, the concept plan associated with *Ordinance No. 92-39* did not conform to the residential policies that were in place with the previous Comprehensive Plan (*i.e. the Hometown 2000 Comprehensive Plan*) or the [then] proposed OURHometown Vision 2040 Comprehensive Plan. Based on this deficiency the property was reclassified from a *High Density Residential* designation on the Hometown 2000 Comprehensive Plan to a *Medium Density Residential* designation with the OURHometown Vision 2040 Comprehensive Plan. With this being said, changes to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan are discretionary decisions for the Planning and Zoning Commission and City Council.

With regard to the policies for townhomes contained in the Comprehensive Plan staff has identified the following conformity/non-conformities and provided the following recommendations to the applicant:

RED: NOT INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

BLUE: INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

- (1) CH. 08 | Sec. 02.04 | Goal 1; Policy 1: Townhome developments should differ in appearance through the use of varying entry features, architectural features, materials, articulation and building setbacks.

Staff Response: Staff originally incorporated anti-monotony standards that required a minimum of two (2) intervening townhomes of differing materials and appearance be required prior to the same building materials/building elevations being used again. It should be noted that this requirement did not conform with the anti-monotony standards contained in the *General Residential District Standards*, but had been proposed with the previous townhome project for the subject property (*i.e. Case No. Z2017-059*). Despite staff incorporating the two (2) intervening townhome rule, the applicant changed this in the draft ordinance to only incorporate one (1) intervening home before the same appearance and materials could be used. Staff should note that building elevations were requested; however, the applicant has not submitted them for review.

- (2) CH. 08 | Sec. 02.04 | Goal 1; Policy 2: Townhomes should incorporate rear entry garages accessible from mews or alleyways, and provide direct pedestrian access to the street from the front of each unit.

Staff Response: Staff suggested that the applicant meet this requirement and incorporate alleyways or mews into the plan. The applicant has chosen not to incorporate staff's request, and has chosen to request that all of the product use forward facing, flat front entry garages.

- (3) CH. 08 | Sec. 02.04 | Goal 1; Policy 3: If approved to be used as an infill product adjacent to existing single-family homes, a townhome should incorporate similar development standards and materials as the adjacent housing. This is intended to create a product that is complementary and blends with the existing single-family homes.

Staff Response: Staff has recommended to the applicant that material standards be incorporated in the Planned Development District ordinance that are similar to or better than the adjacent housing. The applicant has incorporated material standards requiring a minimum of 90% masonry materials.

- (4) CH. 08 | Sec. 02.04 | Goal 1; Policy 4: Niche parking should be provided adjacent to the street in the front of any townhome developments to provide sufficient visitor parking.

Staff Response: Staff recommended that additional niche parking be provided adjacent to the street. [The applicant has incorporated 22 niche parking spaces for on-street parking. This is an increase of eight \(8\) niche parking spaces from the original submittal.](#)

- (5) [CH. 08 | Sec. 02.04 | Goal 1; Policy 5:](#) When more than ten (10) units are proposed, townhome developments should be highly amenitized and incorporate a mix of lifestyle amenities that can justify the density of the development, and provide these residents with similar levels of amenities that are enjoyed in a master planned community.

Staff Response: Staff recommended that additional amenities be added to this development. [The applicant has stated that this will be a part of the Chandler's Landing Subdivision and that the amenities provided in this subdivision should count as amenities for this development; however, staff should point out that this development is physically separated from the rest of Chandler's Landing and that no pedestrian connections to the remainder of Chandler's Landing have been provided and this appears to be a physically separated development. In addition, the applicant has not provided anything from the Chandler's Landing Subdivision stating that this development will be incorporated into the existing Homeowner's Association \(HOA\). Based on this staff does not believe this meets the intent of the Comprehensive Plan.](#)

- (6) [CH. 08 | Sec. 02.04 | Goal 1; Policy 6:](#) Townhome developments should incorporate trails and sidewalks and be designed to have a focus on walkability and connectivity of adjacent land uses.

Staff Response: Staff recommended that both sidewalks and trails be added to the plan. [The applicant has incorporated sidewalks into the design, but has not incorporated a trail system circulating through the site.](#)

Based on the non-conformance of the request with the Future Land Use Plan, and the plans non-conformance to the residential goals and policies, staff is of the opinion that the applicant's request does not conform to the OURHometown Vision 2040 Comprehensive Plan; however, zoning is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On July 2, 2021, staff mailed 1,752 notices to property owners and occupants within 500-feet of the subject property. In addition, staff notified the Lago Vista, Eater's Edge at Lake Ray Hubbard, Signal Ridge and Signal Ridge Phase 4, Fox Chase, Benton Woods, and Chandler's Landing Homeowner's Associations (HOAs), which were the only Homeowners' Association (HOAs) and/or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following responses:

- (1) Seven (7) property owner notifications from seven (7) property owners located within the 500-foot notification buffer opposed to the applicant's request.
- (2) Two (2) emails from property owners located within the 500-foot notification buffer opposed to the applicant's request.
- (3) Four (4) property owner notifications from four (4) property owners located within the 500-foot notification buffer in favor of the applicant's request.
- (4) Three (3) emails from property owners located within the 500-foot notification buffer in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to amend Planned Development District 8 (PD-8) [*Ordinance No. 92-39*], then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained in the Planned Development District ordinance; and,
- (2) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted

engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22071-026

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Prop ID 452487 & A0207 E Teal, Tract 134-12

SUBDIVISION Spyglass Hill #4 LOT 4 BLOCK A

GENERAL LOCATION Adjacent to Chandler's Landing Marina

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-08, Zero Lot Line Residential	CURRENT USE	Undeveloped
PROPOSED ZONING	Amend PD-08, Attached Townhomes	PROPOSED USE	Residential
ACREAGE	6.88	LOTS [CURRENT]	36
		LOTS [PROPOSED]	36

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<input checked="" type="checkbox"/> APPLICANT	Newstream Capital Partners
CONTACT PERSON	CONTACT PERSON	Troy Lewis
ADDRESS	ADDRESS	311 South Oak St. #250
CITY, STATE & ZIP	CITY, STATE & ZIP	Roanoke, TX 76262
PHONE	PHONE	817-602-0578
E-MAIL	E-MAIL	14rockwater@gmail.com

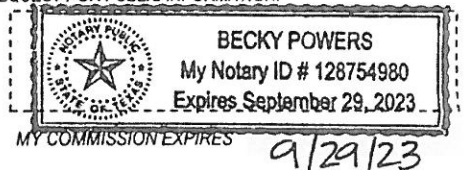
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Dilip Shah [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

¹ I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 303.20 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF June, 20 21. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF June, 20 21.

OWNER'S SIGNATURE [Signature]
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]

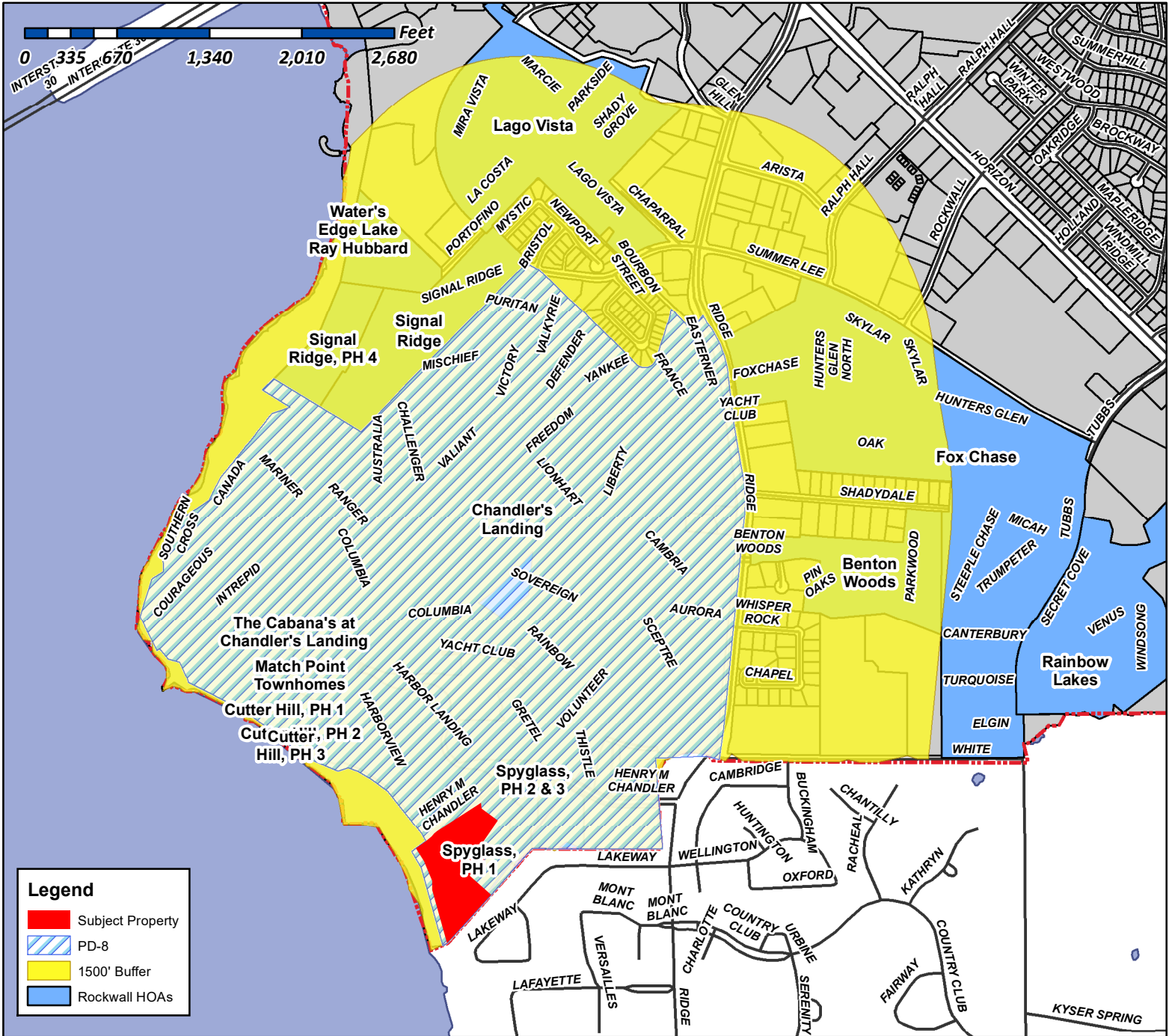




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-026
Case Name: Amendment to PD-8
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: Adjacent to 1 Harborview Drive

Date Created: 6/23/2021
For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Monday, June 28, 2021 4:55 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-026]
Attachments: Public Notice (06.28.2021).pdf; HOA Map (06.23.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *June 25, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, July 13, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, July 19, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-026 Zoning Change amending Planned Development District 8

Hold a public hearing to discuss and consider a request by Troy Lewis of Newstream Capital Partners for the approval of an *Zoning Change* to amend Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] for the purpose of allowing townhomes on a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] for Zero Lot Line (ZL-5) District land uses, generally located south on the south side of Henry M. Chandler Drive west of Ridge Road [*FM-740*], and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

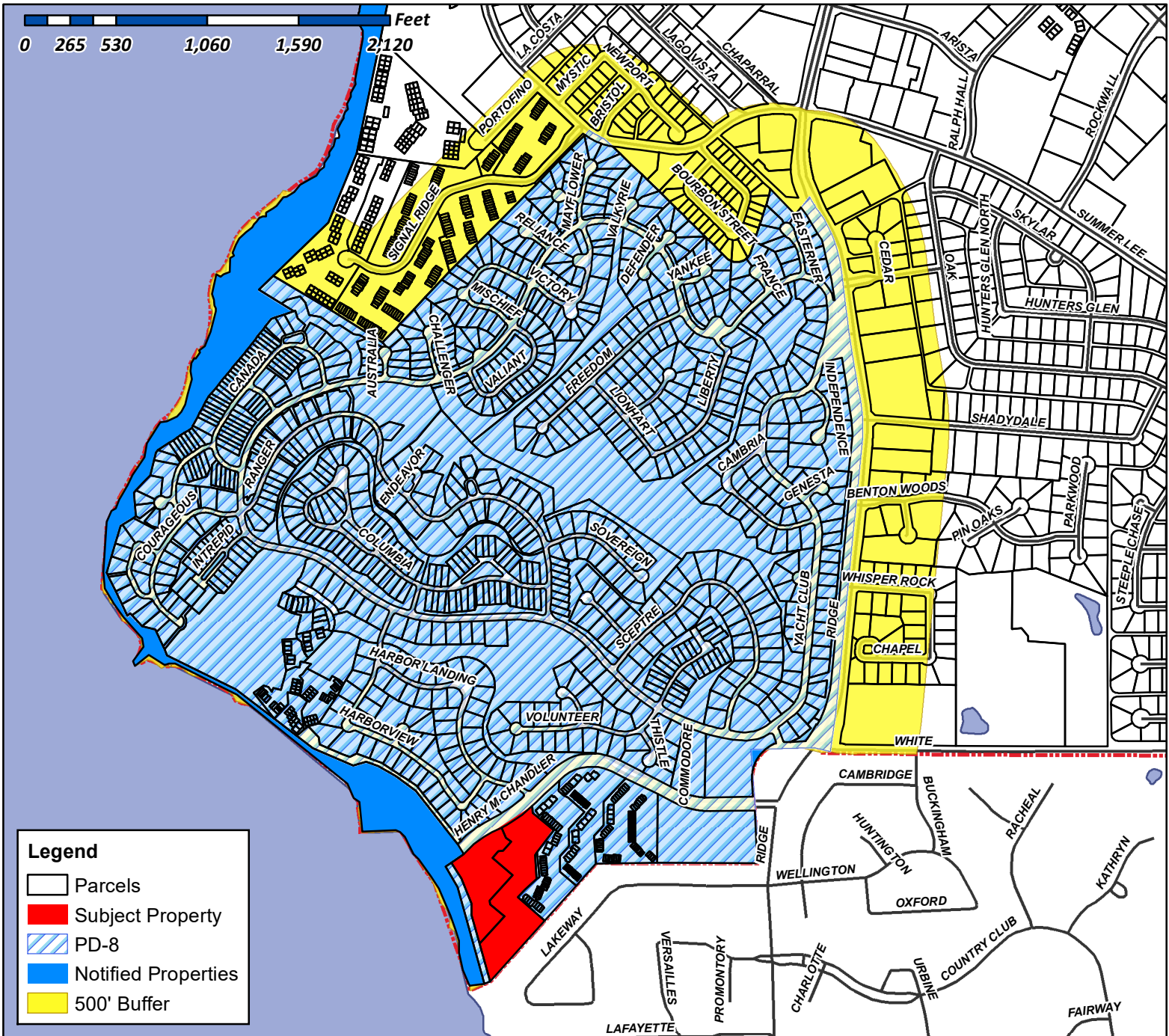
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City of Rockwall

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Case Number: Z2021-026
Case Name: Amendment to PD-8
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: Adjacent to 1 Harborview Drive

Date Created: 6/24/2021
For Questions on this Case Call (972) 771-7745



CORDILLERA INTERNATIONAL LLC
1 EASTSHORE ROAD
HEATH, TX 75032

LOVEJOY ROMA DIANE HUMPHREYS
1 INTREPID CIRCLE
ROCKWALL, TX 75032

PATON BRUCE R &
DR DARIAH L MORGAN
10 INTREPID CIR
ROCKWALL, TX 75032

PATON FAMILY CHARITABLE TR
10 INTREPID CIR
ROCKWALL, TX 75032

BAUMANN HARRY EDWARD
10 WATERS EDGE CT
HEATH, TX 75032

PRICE JASON ALAN
10041 W DUBLIN DR
FORNEY, TX 75126

VOLKMAN DOLORES A
10057 SURREY OAKS DR
DALLAS, TX 75229

SEELEY LISA JONI
101 AURORA CIR
ROCKWALL, TX 75032

MAFFEI DIEGO R & GERTRAUD A
101 DAME PATTIE DR
ROCKWALL, TX 75032

ROTH JEFFREY STEPHEN
101 EASTERNER PL
ROCKWALL, TX 75032

FRANCE COURT PROPERTIES LLC
101 FRANCE CT
ROCKWALL, TX 75032

CONFIDENTIAL
101 GENESTA PL
ROCKWALL, TX 75032

IWAI AKIO
C/O OPEN HOUSE CO LTD, 11TH FLOOR
10-1 GINZA 6-CHOME CHUO-KU, TOKYO
104-0061, JAPAN,

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
101 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GOODWIN DALE & DEBORAH
101 INDEPENDENCE PL
ROCKWALL, TX 75032

LANGSTON JOHN AND FRIEDA
101 MAYFLOWER CT
ROCKWALL, TX 75032

GOODSON JOSEPH F & SONJA R
101 RELIANCE CT
ROCKWALL, TX 75032

MCHARGUE SCOTT W & PATRICIA L
101 RESOLUTE LN
ROCKWALL, TX 75032

ARNOLD MICHAEL J & KATHY RENEE
101 SCEPTRE DR
ROCKWALL, TX 75032

WELCH JANIS M
101 VALKYRIE PL
ROCKWALL, TX 75032

KJT FLYING PROPERTIES LLC
101 YANKEE CT
ROCKWALL, TX 75032

ROTH JEFFREY STEPHEN
10-10 166 ST
WHITESTONE, NY 11357

VANGUARD PORTABLE SOLUTIONS INC
1017 NATIVE TR
HEATH, TX 75032

NORTHCUTT LEIGH
102 AURORA CIR
ROCKWALL, TX 75032

THOMAS BRETT JORDAN & CASSIDY BO
102 CLIPPER CT
ROCKWALL, TX 75032

HUNTER STEVEN R AND KAREN J
102 DAME PATTIE DRIVE
ROCKWALL, TX 75032

KELLY DONNA
102 E MOORE AVE STE 245
TERRELL, TX 75160

BRIGHT WILLIAM MARK AND SHERRYL J
102 EASTERNER PLACE
ROCKWALL, TX 75032

WARREN JEFFREY DWAYNE ETUX
102 GENESTA PL
ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A
102 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GARDNER PAUL S AND CINDY
102 INDEPENDENCE PL
ROCKWALL, TX 75032

RINK HEIDI MARIE
102 JESSICA DRIVE
BELLE CHASSE, LA 70037

HARRELL STEVEN R AND ROBERTA J
102 MAYFLOWER CT
ROCKWALL, TX 75032

HALL JASON & CORI
102 MISCHIEF LN
ROCKWALL, TX 75032

FARRAR ROBERT CARY & NANCY N
102 MUSTANG DR
FATE, TX 75087

CHENAULT JOSH & NATHALIE
102 RELIANCE COURT
ROCKWALL, TX 75032

SRP SUB, LLC
102 RESOLUTE LN
ROCKWALL, TX 75032

TOMPKINS JAMES MICHAEL & LAURIE CARLENE
GARVIN
102 THISTLE PL
ROCKWALL, TX 75032

NECAS KEVIN J
102 WEATHERLY CIRCLE
ROCKWALL, TX 75032

GALLAGHER CHRISTOPHER
102 YANKEE CT
ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH
1029 SILVERTHORN CT
MESQUITE, TX 75150

RAMSEY TERESA GALE AND
LORI RAMSEY
103 AURORA CIR
ROCKWALL, TX 75032

THOMAS VELIA
103 DAME PATTIE
ROCKWALL, TX 75032

CEPAK JANET BAIN
103 DEFENDER COURT
ROCKWALL, TX 75032

MORENO SUSAN C
103 EASTERNER PL
ROCKWALL, TX 75032

BARR JOHNATHAN & CHRISTY
103 FRANCE COURT
ROCKWALL, TX 75032

GAY JEFFREY & TAMI
103 FREEDOM CT
ROCKWALL, TX 75032

WEEKS MARY
103 GENESTA PL
ROCKWALL, TX 75032

SHIVERS MARGARET ANN
103 HENRY M CHANDLER DR
ROCKWALL, TX 75032

UNDERHILL TERESA D AND STEPHEN
103 INDEPENDENCE PL
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
103 MAYFLOWER CT
ROCKWALL, TX 75032

SINCLAIR SUE AND
JEREMY LEE SINCLAIR
103 RELIANCE CT
ROCKWALL, TX 75032

HARPER DANIEL
103 RESOLUTE LN
ROCKWALL, TX 75032

SELL KIMBERLEE Z
103 SCEPTRE DR
ROCKWALL, TX 75032

FISHER TED Y
103 THISTLE PL
ROCKWALL, TX 75032

HALAMA STEFAN & ANN
103 VALKYRIE PL
ROCKWALL, TX 75032

ARNOLD GEORGE
103 WEATHERLY CIR
ROCKWALL, TX 75032

TRANSOU ARMANDA L
103 YANKEE CT
ROCKWALL, TX 75032

O'BRIEN PATRICIA C
104 AURORA CIRCLE
ROCKWALL, TX 75032

FAYAD HUSSAIN
104 DAME PATTIE DRIVE
ROCKWALL, TX 75032

WRAY ENTERPRISES LLC
104 EASTERNER PL
ROCKWALL, TX 75032

NEWMAN DONALD T
104 FRANCES CT
ROCKWALL, TX 75032

MORRIS GARY GLEN & SANDRA J
104 FREEDOM CT
ROCKWALL, TX 75032

GARZA ROY A & DULCE R
104 GENESTA PLACE
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
104 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCKIBBEN KATHLEEN D
104 INDEPENDENCE PL
ROCKWALL, TX 75032

YATES KIMBERLY
104 MAYFLOWER COURT
ROCKWALL, TX 75032

CARR LORI
104 MISCHIEF LN
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
104 RELIANCE CT
ROCKWALL, TX 75032

TODD HOLLY J
104 RESOLUTE LN
ROCKWALL, TX 75032

JONES ANGELA DENISE
104 THISTLE PLACE
ROCKWALL, TX 75032

MANDRELL JAMES R & KRISTIN MANDRELL
104 VALKYRIE PLACE
ROCKWALL, TX 75032

HAM EDWARD C & BRENDA
104 WEATHERLY CIR
ROCKWALL, TX 75032

HOWARD KATALIN J
104 YANKEE CT
ROCKWALL, TX 75032

LANCASTER RONALD R & BRENDA R
105 AURORA CIR
ROCKWALL, TX 75032

SPOKES JULIE
105 CLIPPER COURT
ROCKWALL, TX 75032

KNEEDLER BRADLEY HARRISON
105 CLIPPER CT
ROCKWALL, TX 75032

SCHUBERT LAURIE LEE
105 EASTERNER PLACE
ROCKWALL, TX 75032

CROOKS JOHN O & PATRICIA K
105 FRANCE CT
ROCKWALL, TX 75032

TURNER CATHERINE
105 GENESTA PL
ROCKWALL, TX 75032

SELZER DEANNA
105 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SHORT MELISSA HUDSON AND CORY WAYNE
105 INDEPENDENCE PL
ROCKWALL, TX 75032

WILLIAMS WILLIAM BROCK AND MARIA
CRISTINA
105 LIBERTY LANE
ROCKWALL, TX 75032

OCONNOR MICHAEL
105 MAYFLOWER CT
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES
105 MISCHIEF LN
ROCKWALL, TX 75032

HAYES BRANDON
105 RELIANCE CT
ROCKWALL, TX 75032

MCMAHON PATRICK AND CHERYL
105 SCEPTRE DR
ROCKWALL, TX 75032

RAY LAURA MATTESON
105 THISTLE PLACE
ROCKWALL, TX 75032

HOUSER JOSHUA AND SOMMER
105 WEATHERLY CIR
ROCKWALL, TX 75032

ROGERS RYAN J
105 YANKEE CT
ROCKWALL, TX 75032

NEUROHR KIM D
106 CLIPPER COURT
ROCKWALL, TX 75032

SELLERS JAMES L AND AMI A
106 DEFENDER CT
ROCKWALL, TX 75032

AZORES ROBERT AND KELLEY
106 EASTERNER PLACE
ROCKWALL, TX 75032

DUGAN ADAM TL AND WHITNEY C
106 FRANCE CT
ROCKWALL, TX 75032

YNIGUEZ THOMAS WAYNE &
MANDY E YNIGUEZ
106 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MURRAY DAVID T II & AMBER
106 INDEPENDENCE PLACE
ROCKWALL, TX 75032

THACKER IKE AND MARY
106 LIBERTY LANE
ROCKWALL, TX 75032

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
106 MAYFLOWER CT
ROCKWALL, TX 75032

GRAF DANIEL & JESSICA
106 MISCHIEF LANE
ROCKWALL, TX 75032

CHRISTIAN ANGELA LEE
106 RELIANCE CT
ROCKWALL, TX 75032

HATFIELD GAROLD SCOTT
106 SCEPTRE DR
ROCKWALL, TX 75032

VAN WEY DONALD L
106 VALKYRIE PL
ROCKWALL, TX 75032

HENKEMEYER MARK & SANDRA
106 WEATHERLY CIR
ROCKWALL, TX 75032

HENSON KIM A & REBECCA H
106 YANKEE CT
ROCKWALL, TX 75032

ROARK BOBBIE ETAL
107 DEFENDER CT
ROCKWALL, TX 75032

ALVARENGA OSWALDO JR & JUDITH
107 EASTERNER PL
ROCKWALL, TX 75032

ALLEN REGINALD
107 FREEDOM CT
ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE
IRENE
107 HENRY M CHANDLERDR
ROCKWALL, TX 75032

HUDSON REAL ESTATE HOLDINGS LLC
107 INDEPENDENCE PLACE
ROCKWALL, TX 75032

CHAD J HUDSON PROPERTIES INC
107 INDEPENDENCE PLACE
ROCKWALL, TX 75032

HUDSON CHAD J & LINDSAY B
107 INDEPENDENCE PLACE
ROCKWALL, TX 75032

ROPER JOHN & JENNIFER
107 MAYFLOWER CT
ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-
GILBREATH
107 RELIANCE CT
ROCKWALL, TX 75032

GEORGE JOHN SAMUEL
107 SCEPTRE DR
ROCKWALL, TX 75032

GARCIA ANTONIO JR & ROXANN D
107 VALKYRIE PL
ROCKWALL, TX 75032

WASSERMAN JENNIFER CLAIRE
107 YANKEE CT
ROCKWALL, TX 75032

HUMBLE BRIAN
108 EASTERNER PLACE
ROCKWALL, TX 75032

BROWN JEAN M TRUST
108 FREEDOM CT
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
108 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LONG JOHN AND LINDSAY
108 MAYFLOWER CT
ROCKWALL, TX 75032

CARRILLO VICTOR G
108 MISCHIEF LN
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY
108 RELIANCE CT
ROCKWALL, TX 75032

STARNES KIMBERLY DAWN
108 SCEPTRE DR
ROCKWALL, TX 75032

VECCHIARELLO RICHARD & MELISSA A
108 VALKYRIE PLACE
ROCKWALL, TX 75032

SAATCI YESIM
108 YANKEE CT
ROCKWALL, TX 75032

HARTFIELD THOMAS E & EDITH E
109 CLIPPER CT
ROCKWALL, TX 75032

ALLYSON VAN OS RESIDENCE TRUST 07-05-87
ALLYSON VAN OS - SUCCESSOR TRUSTEE
109 DREW LANE
HEATH, TX 75032

ANDREWS LEWIS E AND LINDA
109 EASTERNER PL
ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN
109 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CHAD J HUDSON PROPERTIES INC
109 INDEPENDENCE PL
ROCKWALL, TX 75032

THOMAS CARLA RENE AND BRIAN ALLEN
109 LIBERTY LANE
ROCKWALL, TX 75032

LYONS ELIZABETH
109 MAYFLOWER COURT
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

REED ANGEL
109 SCEPTRE DRIVE
ROCKWALL, TX 75032

ELCHANAN DANIEL & NANCY B
11 INTREPID CIR
ROCKWALL, TX 75032

HOVEY EMERSON & CATHERINE SMITH HOVEY
110 CLIPPER CT
ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN
110 CODY CIR N
SULPHUR SPRINGS, TX 75482

HPA TEXAS SUB 2017-1 LLC
110 DEFENDER CT
ROCKWALL, TX 75032

MAXWELL CAROLE AND GARY
110 EASTERNER PL
ROCKWALL, TX 75032

PARNES ALEXANDRA
110 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SOLOMONS DONALD B
110 LIBERTY LN
ROCKWALL, TX 75032

COOPER ELI T & RIKKI J
110 MAYFLOWER CT
ROCKWALL, TX 75032

DILOV VANIO
110 MISCHIEF LN
ROCKWALL, TX 75032

HOWES JAN
110 SCEPTRE DR
ROCKWALL, TX 75032

CARRUCCI ANTHONY JR
110 YANKEE CT
ROCKWALL, TX 75032

COOK JEAN QUILL
1102 HERITAGE DRIVE
GARLAND, TX 75043

GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

STEBBINS GREGORY & KRISTEN
111 DEFENDER CT
ROCKWALL, TX 75032

HEBERT EARL T & LANA G
111 FREEDOM CT
ROCKWALL, TX 75032

RATCLIFFE KATHLEEN C
111 MAYFLOWER CT
ROCKWALL, TX 75032

MILLER DIXIE E AND
MILDRED AND LARRY W STARLING
111 SCEPTRE DRIVE
ROCKWALL, TX 75032

HARMON JIMMY R
112 EASTERNER PL
ROCKWALL, TX 75032

RUSSELL DEBORA J AND
JOSEPH A JR & EDNA J JERMAN
112 FREEDOM COURT
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
112 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FAIRCHILD REVOCABLE LIVING TRUST
112 MAYFLOWER CT
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K
112 MISCHIEF LANE
ROCKWALL, TX 75032

PRITCHETT THOMAS AARON
112 SCEPTRE DR
ROCKWALL, TX 75032

SMITH THOMAS M
113 CLIPPER COURT
ROCKWALL, TX 75032

FOSTER ROBERT L AND RUTH E
113 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

PARTEN PAUL E & PATRICIA M
113 LIBERTY LN
ROCKWALL, TX 75032

CASTRO CRISTINA
113 MAYFLOWER CT
ROCKWALL, TX 75032

STAMPS GAYLON JR
113 SCEPTRE DR
ROCKWALL, TX 75032

MARRIOTT RUSSELL D AND LISA D
114 CLIPPER CT
ROCKWALL, TX 75032

WEAVER C R & KAREN REV LIVING TR
114 DEFENDER CT
ROCKWALL, TX 75032

BENSON CARROLL AND GLENDA
114 LIBERTY LANE
ROCKWALL, TX 75032

FAIRCHILD CARL F & TONI A TRUSTEES
FAIRCHILD JOINT REVOCABLE LIVING TRUST
114 MAYFLOWER CT
ROCKWALL, TX 75032

GEORGE ELIZABETH M AND ROBIN J
114 MISCHIEF LANE
ROCKWALL, TX 75032

RIERA CRISTINA
114 SCEPTRE DR
ROCKWALL, TX 75032

WEBSTER PROPERTIES LTD
115 DEFENDER C
ROCKWALL, TX 75032

WEBSTER LIDIA
115 DEFENDER CT
ROCKWALL, TX 75032

WEBSTER MARY ANN
115 DEFENDER CT
ROCKWALL, TX 75032

YU DAVIS & HYUN SOOK
115 FREEDOM CT
ROCKWALL, TX 75032

SALT PROPERTIES LLC
115 HENRY M CHANDLERDR
ROCKWALL, TX 75032

JURCA JACOB S AND JACLYN J
115 MAYFLOWER CT
ROCKWALL, TX 75032

SMITH KURTIS
115 SCEPTRE DR
ROCKWALL, TX 75032

TIMOTHY J AND LAURA D DRAELOS TRUST
TIMOTHY J DRAELOS AND LAURA D DRAELOS
TRUSTEES
116 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LETT LORNA
116 MISCHIEF LN
ROCKWALL, TX 75032

SINISCALCHI JOSEPH W & KIMBERLY A
116 OLD VINEYARD LN
ROCKWALL, TX 75032

BRELAND JULIA AND
BARRY W YOUNG
116 SCEPTRE DR
ROCKWALL, TX 75032

PALMER TONY & JUDY
117 CLIPPER CT
ROCKWALL, TX 75032

HAYWORTH DEVON A
117 HENRY M CHANDLER DR UNIT 117, BLDG E
ROCKWALL, TX 75032

BEARD DAVID & SANDY
117 LIBERTY LANE
ROCKWALL, TX 75032

PHAN NGAN VAN
117 SCEPTRE DR
ROCKWALL, TX 75032

BAUMANN HARRY EDWARD
118 CLIPPER CT
ROCKWALL, TX 75032

JASTER FAMILY LIVING TRUST
EMIL EDWARD & MARGARET O JASTER
TRUSTEES
118 FREEDOM COURT
ROCKWALL, TX 75032

LESLIE RANDY
118 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WEBSTER KATHLEEN ANN
118 LIBERTY LN
ROCKWALL, TX 75032

JASIN PAUL A
118 SCEPTRE DR
ROCKWALL, TX 75032

JONES FELICIA M
119 FREEDOM COURT
ROCKWALL, TX 75032

MOORE DOOR PROPERTIES LLC
119 HENRY M CHANDLER DR
ROCKWALL, TX 75032

DAVIS JOHN M AND THERESA Y
119 SCEPTRE DRIVE
ROCKWALL, TX 75032

BOWEN JAMES E AND
SANDRA ALVES VALADAO BOWEN
12 INTREPID CIRCLE
ROCKWALL, TX 75032

SANCHEZ RAMSES S
120 APPIAN WAY
DALLAS, TX 75216

JUDD MANO
120 BLUE HERON LN
HEATH, TX 75032

GARDNER DAVID L REV LIV TR
120 HENRY M CHANDLER DR
ROCKWALL, TX 75032

COOK NATHAN & COURTNEY
120 MISCHIEF LN
ROCKWALL, TX 75032

GONZALEZ KEITH R & DEANNA J
120 PURITAN CT
ROCKWALL, TX 75032

HPA US1 LLC
120 RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

HPA TEXAS SUB 2017-1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

KJT FLYING PROPERTIES LLC
120 SCEPTRE DR
ROCKWALL, TX 75032

HPA II TEXAS SUB 2019-1 LLC
120 SOUTH RIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

PINSON REGINALD A & CAROL S
121 CLIPPER CT
ROCKWALL, TX 75032

STOCKS DENISE K
121 HENRY M CHANDLER DR
ROCKWALL, TX 75032

IRIZARRY ALBERTO R & TERESA E
121 LIBERTY LANE
ROCKWALL, TX 75032

MONIER SHANNON K
121 SCEPTRE DRIVE
ROCKWALL, TX 75032

ELLISTON DANIEL MARK
121 YACHT CLUB DRIVE
ROCKWALL, TX 75032

MCCONNELL MICHAEL J
C/O LINDA M DUGO
12123 DRUJON LN
DALLAS, TX 75244

JOHNSON TREVOR R & DANA J
122 CLIPPER CT
ROCKWALL, TX 75032

HPA II TEXAS SUB 2019-1 LLC
122 FREEDOM CT
ROCKWALL, TX 75032

RAGLE VICKIE
122 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KELLEY CYNTHIA JANE
IRREVOCABLE FAMILY TRUST
122 LIBERTY LN
ROCKWALL, TX 75032

LOWREY COLT A AND
LEO WISE
122 MISCHIEF LN
ROCKWALL, TX 75032

HOLDER TOM
122 PURITAN CT
ROCKWALL, TX 75032

CAMIEL JEFFREY M
122 SCEPTRE DR
ROCKWALL, TX 75032

WILLIS PATRICIA D
12218 GLADWICK DR
HOUSTON, TX 77077

THOMAS ALAN AND DANA
123 FREEDOM COURT
ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A
123 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HPA US1 LLC
123 YACHT CLUB DR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
124 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MONTOYA ASHLEY R & JOSE L
124 MISCHIEF LANE
ROCKWALL, TX 75032

POTISKA PATRICIA
124 PURITAN CT
ROCKWALL, TX 75032

WELCH JERL R & ANNE E
124 SCEPTRE DR
ROCKWALL, TX 75032

CASHMAN GINA L AND
JOEY L RIVER
125 CLIPPER CT
ROCKWALL, TX 75032

ESTRERA AARON S ETUX
125 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
125 MISCHIEF LN
ROCKWALL, TX 75032

STEWART BEVERLY AND JAMES
125 SHEPHERDS GLEN
ROCKWALL, TX 75032

THACKER N FAMILY TRUST AND
SHEEGOG FAMILY TRUST
126 CLIPPER CT
ROCKWALL, TX 75032

BOLES ALAN L & DANA M
126 FREEDOM CT
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
126 HENRY M CHANDLER DR
ROCKWALL, TX 75032

REILLY CHRISTOPHER P & MEGAN L
126 LIBERTY LN
ROCKWALL, TX 75032

HUIE LANDON DARNELL AND KRISTIN NOEL
126 MISCHIEF LANE
ROCKWALL, TX 75032

WINKLES GARY AND KRISTY
126 PURITAN CT
ROCKWALL, TX 75032

COLONIAL ESTATE IRREVOCABLE TRUST
TERRY L BROWN & BARRY R BROWN TRUSTEES
126 SCEPTRE DR
ROCKWALL, TX 75032

SNIDER MICHAEL AND CASSANDRA
127 FREEDOM CT
ROCKWALL, TX 75032

JONES JONATHAN
127 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TOWNEND DAVID WILLIAM AND JEANMARIE
127 LIBERTY LANE
ROCKWALL, TX 75032

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
128 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ROGINA FAMILY TRUST
SERGIO A LOPEZ-ROGINA AND SUSAN D VIDAL-
ROGINA- TRUSTEES
128 LIBERTY LANE
ROCKWALL, TX 75032

HALAMA STEVEN
128 MISCHIEF LN
ROCKWALL, TX 75032

SULLIVAN MORTIMER M & CAROLYN B
REV LIVING TRUST AGREEMENT
128 PURITAN CT
ROCKWALL, TX 75032

SAINT-MU PATRICIA
128 SCEPTRE DR
ROCKWALL, TX 75032

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
129 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

LUCKEY CAROL MALATICH
13 INTREPID CIRCLE
ROCKWALL, TX 75032

BILLITER MARGARET AND ROGER
130 FREEDOM CT
ROCKWALL, TX 75032

HAYS DANNY W & JOAN
130 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HARGROVE PATRICIA ANN
130 MISCHIEF LANE
ROCKWALL, TX 75032

ZUK ELIZABETH
130 SCEPTRE DR
ROCKWALL, TX 75032

QUILLEN BOBBY RAY JR
1307 GUN CLUB CR
RICHARDSON, TX 75081

WALTON ALLEN NICK & WANDA JEAN
131 FREEDOM CT
ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH
131 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

TIMOTHY J AND LAURA D DRAELOS TRUST
TIMOTHY J DRAELOS AND LAURA D DRAELOS
TRUSTEES
13117 SANDSTONE PLACE NE
ALBUQUERQUE, NM 87111

NELSON FAMILY LIVING TRUST
JERRY C NELSON AND MARIBETH NELSON-
TRUSTEES
132 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ZIELINSKI THOMAS ROBERT
132 LIBERTY LN
ROCKWALL, TX 75032

ROSHAN KC
132 MISCHIEF LN
ROCKWALL, TX 75032

WRIGHT RHONDA
133 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ASHMORE KEITH C & JENNIFER
133 LIBERTY LN
ROCKWALL, TX 75032

COFFEE CHARLES C AND DEBRA P
134 FREEDOM CT
ROCKWALL, TX 75032

CROUCH FAMILY LIVING TRUST
JERROLD F AND KATHLEEN A CROUCH TRUSTEES
134 HENRY M. CHANDLER DR.
ROCKWALL, TX 75032

ROBISON BRUCE EMERSON
135 FREEDOM COURT
ROCKWALL, TX 75032

CGN SPYGLASS LLC
135 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SANCHEZ RAMSES S
136 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LISTER WILLIAM
136 LIBERTY LN
ROCKWALL, TX 75032

CGN SPYGLASS LLC
137 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LOGAN PAULINE K
137 LIBERTY LN
ROCKWALL, TX 75032

ROGERS SHAWN A & BRENDA
138 FREEDOM CT
ROCKWALL, TX 75032

CGN SPYGLASS LLC
138 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RIAZ SUMERA
1385 RIDGE ROAD APT 484
ROCKWALL, TX 75087

HENDRICKS LORI L
139 FREEDOM CT
ROCKWALL, TX 75032

CGN SPYGLASS LLC
139 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CHADCO INVESTMENTS LLC
13914 OVERLOOK LN
FORNEY, TX 75126

BOHORQUEZ DAVID
1397 GLENWICK DRIVE
ROCKWALL, TX 75032

VISWANATH RABINDRANATH AND SHANNON
14 INTREPID CIRCLE
ROCKWALL, TX 75032

ENGEL MARIA
140 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CURRENS ARLENE & WAYNE TRUSTEES
BUCHNER/CURRENS FAMILY TRUST
140 LIBERTY LN
ROCKWALL, TX 75032

RIVERA ENRIQUE JR AND
SAHARA AGUIRRE
1403 BIRMINGHAM DR
ARLINGTON, TX 76012

WALKER SHERRIE G LIFE ESTATE
CYNTHIA SEELY & STEVEN WALKER
141 HENRY M CHANDLER DR
ROCKWALL, TX 75032

BRADLEY JAMES & DEBRA
141 LIBERTY LN
ROCKWALL, TX 75032

STEWART BEVERLY AND JAMES
142 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
1420 PICKWICK LANE
DENTON, TX 76209

LEEDS JULIE
1423 ROLLINS DR
ALLEN, TX 75013

CGN SPYGLASS LLC
143 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SOON HERALD
14300 CERVANTES AVE
GERMANTOWN, MD 20874

WEBSTER PROPERTIES LTD
144 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MORRIS NORMA
144 LIBERTY LANE
ROCKWALL, TX 75087

TORRES PAULITA T
145 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GKD PROPERTIES LLC
145 LIBERTY LN
ROCKWALL, TX 75032

LEWIS COLIN BRAD
146 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LEWIS COLIN BRAD
147 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WEAM MONAWAR AND
TAHANI MUNAWAR
1471 ENGLEWOOD DR
ROCKWALL, TX 75032

DAVIS GEORGE
148 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SUTHERLAND ETHAN JOHN
148 LIBERTY LN
ROCKWALL, TX 75032

JOHNSON TIFFANY MICHELLE
148 OXFORD DR
HEATH, TX 75032

FARRAR ROBERT CARY & NANCY N
149 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CATANIA ANTHONY J
14915 WILLOW HEARTH DR
HOUSTON, TX 77084

GLENDINNING ANTHONY AND CHRISTI BOYD
15 INTREPID CIR
ROCKWALL, TX 75032

PARNES ALEXANDRA & DROR
15 KESTREL COURT
ROCKWALL, TX 75032

48 MKS LTD
15 WINDING LAKE DR
DALLAS, TX 75230

GARDNER DAVID L REV LIV TR
150 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CITY OF DALLAS
1500 MARILLA ST ROOM 5D SOUTH
DALLAS, TX 75201

BURNS LORRAINE
151 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ROBERTS JOSHUA & CHRISTINA
151 LIBERTY LANE
ROCKWALL, TX 75032

WOOLDRIDGE ALMA J
152 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KNOTT STEPHEN D & SUSAN C
152 LIBERTY LN
ROCKWALL, TX 75032

CONFIDENTIAL
152 SHEPHERDS GLEN RD
ROCKWALL, TX 75032

HUGHES LUANN LYTLER AND RICHARD ANDREW
153 HENRY M CHANDLER DR
ROCKWALL, TX 75032

STEWART JAMIE
154 HENRY M CHANDLER DR
ROCKWALL, TX 75032

BALLARD AMANDA L &
MATTHEW WEST BALLARD
155 HENRY M CHANDLER DR
ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON
156 HENRY M CHANDLER DR
ROCKWALL, TX 75032

OURSLEER JIM & BETTY L
156 LIBERTY LN
ROCKWALL, TX 75032

WEBSTER PROPERTIES LTD
157 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WEBSTER PROPERTIES LTD
158 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RICKLEFS MARY E
159 HENRY M CHANDLER DR
ROCKWALL, TX 75032

DEVILL HOMES INC
16 INTREPID CIR
ROCKWALL, TX 75032

CURRENS ARLENE & WAYNE TRUSTEES
BUCHNER/CURRENS FAMILY TRUST
16 LAKEWAY DR
HEATH, TX 75032

AMERICAN CONDO CORP OF HOUSTON
160 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SHELTON CRAIG
160 LIBERTY LN
ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON
161 HENRY M CHANDLER DR
ROCKWALL, TX 75032

COUGHLIN DIANE AND BRIAN FOULKS
162 HENRY M CHANDLER DRIVE UNIT 162
ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON
163 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SKR INVESTMENTS
164 HENRY M CHANDLER DR
ROCKWALL, TX 75032

PARNES ALEXANDRA & DROR
165 HENRY M CHANDLER DR
ROCKWALL, TX 75032

PARNES ALEXANDRA
166 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GOODWIN DALE & DEBORAH
1667 SWAN TER
N FT MYERS, FL 33903

MCHALE JOHN D JR
167 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SKR INVESTMENTS
168 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SKR INVESTMENTS
1682 CHOTEAU CIR
GRAPEVINE, TX 76051

SKR INVESTMENTS
169 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WILKE PATRICIA LYTLE
17 INTREPID CIR
ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON
170 HENRY M CHANDLER DR
ROCKWALL, TX 75032

D'ALISO CHRISTOPHER J
1701 HICKORY CHASE CIR
KELLER, TX 76248

PHAN NGAN VAN
1701 WOODSBORO CT.
ALLEN, TX 75013

WEBSTER PROPERTIES LTD
171 HENRY M CHANDLER DR
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

WEBSTER PROPERTIES LTD
172 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CLARK JASON
173 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

AMERICAN CONDO CORP OF HOUSTON
174 HENRY M CHANDLER DR
ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON
175 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WEBSTER PROPERTIES LTD
176 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FERNANDEZ RENEE LINDA
177 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SIDDIQI NAVEED & TAMARA ABDUL WAHAB
178 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JACKSON STEVEN J AND BARBARA A
18 INTEPRID CIR
ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE
IRENE
18208 PRESTON RD SUITE D9-408
DALLAS, TX 75252

SLATE CRAIG M & TANYA
185 S AVENIDA DEL SEMBRADOR
TUSCON, AZ 85745

PONDER KENNETH & ELMA
1850 ASHBOURNE DR
ROCKWALL, TX 75087

THE POTTS-REAGIN HOUSE LLC
1856 SW AVE Q
WINTER HAVEN, FL 33880

BALLARD CARLEY E JR & CHLOE
1907 LAKEVIEW DR
ROCKWALL, TX 75087

MGBOOMER LLC
1912 KINGS PASS
HEATH, TX 75032

CASSAR JEFFREY AND JENNIFER
193 ELVIS PRESLEY LN
ROCKWALL, TX 75032

SIDDIQI NAVEED AND TAMARA ABDULWAHAB
194 BURNS ST
FOREST HILLS, NY 11375

5 TO 1 LIVING TRUST
2 INTREPID CIRCLE
ROCKWALL, TX 75032

KOLLECK THOMAS A AND TAMARA DESIERTO
20 INTREPID CIR
ROCKWALL, TX 75032

VINES GREGORY S
200 VZCR 3710
EDGEWOOD, TX 75117

VINES AMY
200 VZCR 3710
EDGEWOOD, TX 75117

MAXCEY THOMAS AND KIRSTEN
201 FREEDOM CT
ROCKWALL, TX 75032

MCKNIGHT MARY D
201 HARBOR LANDING DR
ROCKWALL, TX 75032

COOK JEAN QUILL
201 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ROJAS SAMUEL AND
SANDRA ELIZABETH MORALES LEDESMA
201 RAINBOW CIRCLE
ROCKWALL, TX 75032

MCCONNELL MICHAEL J
C/O LINDA M DUGO
201 SOVEREIGN CT
ROCKWALL, TX 75032

MACFARLANE VICTOR L TRUST
VICTOR B & THADERINE D MACFARLANE
TRUSTEES
201 SPEAR ST STE 1000
SAN FRANCISCO, CA 94105

MACFARLANE VICTOR L TRUST
VICTOR B & THADERINE D MACFARLANE
TRUSTEES
201 YACHT CLUB DR
ROCKWALL, TX 75032

MATTESON EVAN RICHARD & VIRGINIA ANN
202 GRETEL PL
ROCKWALL, TX 75032

WILSON SEAN
202 HARBOR LANDING DR
ROCKWALL, TX 75032

SIDDIQI NAVEED AND TAMARA ABDULWAHAB
202 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LAZYDALE PARTNERS LLP
202 N SAN JACINTO
ROCKWALL, TX 75087

SELZER RICHARD M ET UX
202 RAINBOW CIR
ROCKWALL, TX 75032

SELZER DEANNA
202 RAINBOW DR
ROCKWALL, TX 75032

CARTER DAVID F & CYNTHIA W
202 SOVEREIGN CT
ROCKWALL, TX 75032

PETERSON LELAND D & JANET
203 HARBOR LANDING DR
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
203 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ARMSTRONG JOHN D
203 RAINBOW CIR
ROCKWALL, TX 75032

RYAN BETTY & JAMES
203 YACHT CLUB DR
ROCKWALL, TX 75032

GARLAND BELOTE III
2038 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BRUMMETT JOHN W
204 GRETEL PLACE
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND
CARLOS AUGUSTO MOSQUERA
204 HARBOR LANDING
ROCKWALL, TX 75032

SHORT KATHRYN FARLEY
204 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75088

YOUNGBLOOD JOLYNN AND TERRY DON
204 RAINBOW CIR
ROCKWALL, TX 75032

ALLEN FRANCIS CONRAD
204 SOVEREIGN CT
ROCKWALL, TX 75032

FITZSIMMONS LIVING TRUST
MARY ANN AND STEPHEN J FITZSIMMONS -
TRUSTEE
20414 W 98TH STREET
LENEXA, KS 66220

KNABLE MICHAEL D REVOCABLE TRUST
MICHAEL D KNABLE TRUSTEE
205 BENTON DRIVE APT 1202
ALLEN, TX 75013

FRITZ AND KATHY MCKINSTRY LIVING TRUST
205 FREEDOM CT
ROCKWALL, TX 75032

SRP SUB, LLC
205 HARBOR LANDING DR
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
205 HENRY M CHANDLER DR
ROCKWALL, TX 75032

YNIGUEZ THOMAS WAYNE &
MANDY E YNIGUEZ
205 MAGIC LN
SUNNYVALE, TX 75182

FODGE JEFF & GLENDA
205 RAINBOW CIR
ROCKWALL, TX 75032

ROSELL LOYD MICHAEL
205 SOVEREIGN COURT
ROCKWALL, TX 75032

GOODCHILD ROBERT R
205 YACHT CLUB DR
ROCKWALL, TX 75032

SCHROEPFER BRADLEY ROBERT & TAMMY LYNN
206 GRETEL PLACE
ROCKWALL, TX 75032

D'AMBROSIA DEAN AND MUSTAFA OMAR
206 HARBOR LANDING DR
ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING
TRUST
206 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING
TRUST
206 RAINBOW CIR
ROCKWALL, TX 75032

HENZEN CARLA
207 HENRY M CHANDLER DR
ROCKWALL, TX 75032

BARTO GARY J & TERRI
207 RAINBOW CIRCLE
ROCKWALL, TX 75032

GROVE JERRY DAVID
207 YACHT CLUB DR
ROCKWALL, TX 75032

MOYER JOHN R ETUX CINDY
208 GRETEL PL
ROCKWALL, TX 75032

MORRISON CAMERON AND DANIELLE
208 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

E C LIVING LLC
208 HENRY M CHANDLER DR
ROCKWALL, TX 75032

BOESCH PATRICE RENEE
208 LIONHART PL
ROCKWALL, TX 75032

FISHER FRANK C JR & CHRISTINE K KYLE
208 RAINBOW CR
ROCKWALL, TX 75032

SLATE CRAIG AND TANYA
208 S AVENIDA DEL SEMBRADOR
TUSCAN, AZ 85745

LANE LAWRENCE DALE & HARRIETT B
209 FREEDOM COURT
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
209 HENRY M CHANDLER DR
ROCKWALL, TX 75032

THEO SHEILA L
209 RAINBOW CIRCLE
ROCKWALL, TX 75032

FROST KIMBERLY
209 SOVEREIGN CT
ROCKWALL, TX 75032

SUMMEY JOSHUA L AND AMANDA L
209 YACHT CLUB DRIVE
ROCKWALL, TX 75032

MORRISON MICHAEL JARED AND
SARAH MARIE GOOCH
210 FREEDOM CT
ROCKWALL, TX 75032

TAYLOR MARY
210 HENRY M CHANDLER DR
ROCKWALL, TX 75032

COLLICHIO KIMBERLY CULLINS
210 RAINBOW CIR
ROCKWALL, TX 75032

CROSS KIMBERLY CULLINS
210 RAINBOW CR
ROCKWALL, TX 75032

STELTE NICHOLAS & CHELSEA
210 SOVEREIGN CT
ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC
211 HENRY M CHANDLER DR
ROCKWALL, TX 75032

COOKE MELANIE
211 YACHT CLUB DRIVE
ROCKWALL, TX 75032

WILKERSON DARYL R & LYNN
212 LIONHART PL
ROCKWALL, TX 75032

GIBBS ERIC D & CECILIA M
212 RAINBOW CIR
ROCKWALL, TX 75032

ESCH JUDD D & CHRISTINE E
212 SOVEREIGN COURT
ROCKWALL, TX 75032

MONKRESS MONTE R & MARGARET D
213 FREEDOM CT
ROCKWALL, TX 75032

E C LIVING LLC
213 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ARMSTRONG JOHN D
213 SOVEREIGNCT
ROCKWALL, TX 75032

GENTZEL DUSTIN AND SHANA
214 FREEDOM COURT
ROCKWALL, TX 75032

DAVIS NITA
214 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MOORE DOOR PROPERTIES LLC
2140 PORTOFINO DR
ROCKWALL, TX 75032

CHADCO INVESTMENTS LLC
215 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TYBONE PROPERTIES LLC
216 HENRY M CHANDLER DR
ROCKWALL, TX 75032

YU HEQING & YIN YANG
216 LIONHART PLACE
ROCKWALL, TX 75032

KIRK MARY
216 SOVEREIGN CT
ROCKWALL, TX 75032

NORRIS KIMBERLY S
217 FREEDOM CT
ROCKWALL, TX 75032

N & S PROPERTIES LLC
217 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WILLIAMS HARRY E & MARGARET
218 FREEDOM CT
ROCKWALL, TX 75032

LEARY TERENCE
218 HENRY M CHANDLER DR
ROCKWALL, TX 75032

O'CONNOR GLORIA J
219 HENRY M CHANDLER DR #219
ROCKWALL, TX 75032

COOK JEAN QUILL
220 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MANNS FAMILY LIVING TRUST
C/O RALPH E MANNS & PHYLLIS
220 LIONHART PL
ROCKWALL, TX 75032

MCCASKILL KRISTOFER
221 FREEDOM COURT
ROCKWALL, TX 75032

FLORES EMILY RODELA
221 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

ARCHER MAX & HELEN MANAGEMENT TRUST
MAX EARL & HELEN GAETA ARCHER CO
TRUSTEES
221 SOVEREIGN COURT
ROCKWALL, TX 75032

NICHOLLS HARRY E JR
222 FREEDOM CT
ROCKWALL, TX 75032

E C LIVING LLC
222 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NEAL LC JR AND CARLA R
222 SOVEREIGN CT
ROCKWALL, TX 75032

CROWELL ROBERT J AND POLLY
223 SOVEREIGN CT
ROCKWALL, TX 75032

LOAN RANGER CAPITAL INVESTMENTS LLC
2235 E 6TH STREET SUITE 103
AUSTIN, TX 78702

DUNCAN FRANK T AND NORMA E
224 LIONHART PLACE
ROCKWALL, TX 75032

AUSBURN CHARLES NEAL
224 SOVEREIGN CT
ROCKWALL, TX 75032

DICKERSON PAUL L & LISA
225 FREEDOM CT
ROCKWALL, TX 75032

ARMSTRONG JOHN D
225 SOVEREIGN CT
ROCKWALL, TX 75032

THORNE ROGER J
226 CREEK CROSSING LN
ROYSE CITY, TX 75189

BELL LINDA W
226 FREEDOM CT
ROCKWALL, TX 75032

CASTER JAMES E JR AND MILINDA J
228 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HOLLIS CODY JONATHAN
228 LIONHART PLACE
ROCKWALL, TX 75032

DYER STACY D
228 SOVEREIGN COURT
ROCKWALL, TX 75032

TONICK MICHAEL D & JANET A
229 FREEDOM CT
ROCKWALL, TX 75032

TULK SHARON K
229 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
230 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
231 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LEWIS COLIN BRAD
2311 NORWICH DR
CARROLLTON, TX 75006

NASH TERRY L & MARGARET SPEAR
232 LIONHART PL
ROCKWALL, TX 75032

BAKKAL RENE & MESUT
232 SOVEREIGN CT
ROCKWALL, TX 75032

ARMSTRONG D
236 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MOLTZAN HERBERT J & JANET R
236 LIONHART PL
ROCKWALL, TX 75032

SARA M FRANKEL TRUST
SARA M FRANKEL - TRUSTEE
2366 FAYETTEVILLE AVE
HENDERSON, NV 89052

STRANN MICHAEL RAY
237 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75087

KNABLE MICHAEL D REVOCABLE TRUST
MICHAEL D KNABLE TRUSTEE
238 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
239 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JOHNSON BRENT & LINDA
240 HENRY M CHANDLER DR
ROCKWALL, TX 75032

COGBURN DEWAYNE AND GLENNA
2400 TRINITY COURT
HEATH, TX 75032

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

MORALE PATRICIA L
241 HENRY M CHANDLER DR
ROCKWALL, TX 75032

PARRISH WENDY R
246 VICTORY LN
ROCKWALL, TX 75032

GATZKE LISA AND JAMES
247 VICTORY LANE
ROCKWALL, TX 75032

CGN SPYGLASS LLC
249 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
250 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RAINS DAVID & BILLIE
2500 DISCOVERY BLVD SUITE 300
ROCKWALL, TX 75032

WEAM MONAWAR AND
TAHANI MUNAWAR
251 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HARRIS ERIC & DEBBIE
251 VICTORY LN
ROCKWALL, TX 75032

KIM SEOK H
2516 WOODHAVEN DR
FLOWER MOUND, TX 75028

RINK HEIDI MARIE
252 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TOMPKINS JAMES MICHAEL & LAURIE CARLENE
GARVIN
2521 BOUNTIFUL COURT
HEATH, TX 75126

JOHNSON BRENT B & LINDA
253 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LASANCE RICHARD & SHIRLEY
253 VICTORY LN
ROCKWALL, TX 75032

48 MKS LTD
254 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TONA CHAD J & MARTI
256 VICTORY LANE
ROCKWALL, TX 75032

MCKINSTRY FRITZ AND KATHY LIVING TRUST
257 VICTORYLN
ROCKWALL, TX 75032

VOLKMAN DOLORES
259 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LESLIE RANDY
2595 WINCREST DR
ROCKWALL, TX 75032

BLASSINGAME KENNETH E ETUX
260 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WILLIAMS FAMILY TRUST
LARRY/TERESA WILLIAMS TRUSTEE
261 HENRY M CHANDLER DR
ROCKWALL, TX 75032

THOMAS VELIA
2612 GULL LAKE DRIVE
PLANO, TX 75025

CARNEY DON
262 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FORSYTHE LESLEY K AND
PETER J HOLLY
262 MEADOWPARK
ROCKWALL, TX 75032

HANSEN J D & PATRICIA
262 VICTORY LN
ROCKWALL, TX 75032

LEARY TERENCE
2622 MICHIGAN AVE
FORT MYERS, FL 33916

AMERICAN CONDO CORP OF HOUSTON
263 HENRY M CHANDLER DR
ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON
264 HENRY M CHANDLER DR
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
264 VICTORY LN
ROCKWALL, TX 75032

KLINE LINDA ANN MULLANE
267 HENRY M CHANDLER DR
ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON
268 HENRY M CHANDLER DR
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN AND JACK ALLEN
268 VICTORY LN
ROCKWALL, TX 75032

GARLAND BELOTE III
269 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
270 HENRY M CHANDLER DR
ROCKWALL, TX 75032

BALLARD M WEST & AMANDA B
271 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MADSON RICHARD ARLEN
2710 ROUTH CREEK PKWY APT 3202
RICHARDSON, TX 75082

DILOV VANIO
2717 LAKEWOOD DR
ROWLETT, TX 75088

KEITH BENJAMIN AND
SHERYL KEITH
272 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FRANCISCO CAROLYN ELLISON
272 VICTORY LN
ROCKWALL, TX 75032

SKR INVESTMENTS
273 HENRY M CHANDLER DR
ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON
274 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MASON JANIS E
275 HENRY M CHANDLER DR UNIT 3
ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON
276 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GALLANT ENTERPRISE LLC
2765 ROKI DELL LANE
ROCKWALL, TX 75032

KLINE LINDA ANN MULLANE
277 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WILLIAMS FAMILY TRUST
LARRY/TERESA WILLIAMS TRUSTEE
27754 HIGH VISTA DRIVE
ESCONDIDO, CA 92026

BALLARD CARLEY E JR & CHLOE
278 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

NICKSON SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

CGN SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

AMERICAN CONDO CORP OF HOUSTON
2807 EASTGROVE LN
HOUSTON, TX 77027

WILLIAMS ROBERT C
281 VICTORY LN
ROCKWALL, TX 75032

BALLARD AMANDA L &
MATTHEW WEST BALLARD
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

HALL JASON M & CORI M
284 VICTORY LN
ROCKWALL, TX 75032

HALL JASON & CORI
284 VICTORY LN
ROCKWALL, TX 75032

BROWN TERRI LYNN
285 VICTORY LN
ROCKWALL, TX 75032

T & B FAMILY LIMITED PARTNERSHIP
2879 LAGO VISTA DR
ROCKWALL, TX 75032

BYRUM CURTIS R AND SUSAN L
289 VICTORY LN
ROCKWALL, TX 75032

TRAYAH LLC
2897 S NELSON ST
LAKEWOOD, CO 80227

LYNN JASON AND DANIELLE
291 VICTORY LANE
ROCKWALL, TX 75032

BILLITER KENT A
291 VICTORY LN
ROCKWALL, TX 75032

AMERSON GARY W AND DEBRA J
293 HARBORVIEW DR
ROCKWALL, TX 75032

WOOD JOHN S & LISA MARIE
293 VICTORY LN
ROCKWALL, TX 75032

ARCE JAIMY G
295 HARBORVIEW DR
ROCKWALL, TX 75032

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

ARA MANAGEMENT LLC
297 HARBORVIEW DR
ROCKWALL, TX 75032

LYNN JASON AND DANIELLE
297 VICTORY LN
ROCKWALL, TX 75032

SLATE CRAIG M & TANYA
299 HARBORVIEW DR
ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

SPARKS PHILIP R
3 INTREPID CIR
ROCKWALL, TX 75032

JONES CHRISTOPHER ASHLEY & LESLIE
300 SHAMROCK CIRCLE
ROCKWALL, TX 75032

RIBAIL LEAH
301 COLUMBIA DR
ROCKWALL, TX 75032

YANES DAVID AND CHRISTIE MARIE SCRIBNER
301 HARBOR LANDING DR
ROCKWALL, TX 75032

KIM SEOK H
301 HARBORVIEW DR
ROCKWALL, TX 75032

STOUFFER AMY JACKSON AND MITCH
301 VALIANT
ROCKWALL, TX 75032

KEITH BENJAMIN AND
SHERYL KEITH
3011 BAYSIDE
ROCKWALL, TX 75087

AL MUNAJID MOHD NAZIH & SALMA ALHEWANI
302 COLUMBIA DRIVE
ROCKWALL, TX 75032

GENTLE BILL
302 HARBOR LANDING DR
ROCKWALL, TX 75032

RICHARDS ROBERT J & JOAN S
302 SHAMROCK CIR
ROCKWALL, TX 75032

THACKER N FAMILY TRUST AND
SHEEGOG FAMILY TRUST
3021 RIDGE RD SUITE 26
ROCKWALL, TX 75032

RIBAIL RICHARD CHARLES
303 COLUMBIA DRIVE
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA
303 HARBOR LANDING DR
ROCKWALL, TX 75032

MOVE IN & ON LLC
303 HARBORVIEW DR
ROCKWALL, TX 75032

ANDERSON MARK ANDREAS
303 HENRY M CHANDLER DR
ROCKWALL, TX 75032

BALLARD CHRISTOPHER WOLFGANG &
ANDREA NICOLE WARD-BALLARD
303 VALIANT
ROCKWALL, TX 75032

WARD ANDREA N
303 VALIANT DRIVE
ROCKWALL, TX 75032

THORNE ROGER J
304 COLUMBIA DR
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C
304 HARBOR LANDING DR
ROCKWALL, TX 75032

NICKSON SPYGLASS LLC
304 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LOAN RANGER CAPITAL INVESTMENTS LLC
304 SHAMROCK CIR
ROCKWALL, TX 75032

CUNNINGHAM KERRI JON
305 COLUMBIA DR
ROCKWALL, TX 75032

POTISKA ANDREA
305 HARBOR LANDING DR
ROCKWALL, TX 75032

CONFIDENTIAL
305 HARBORVIEW DR
ROCKWALL, TX 75032

DOMINGUE JON
305 HENRY M CHANDLER DR UNIT 305
ROCKWALL, TX 75032

DEAL ROBERT
305 VALIANT DRIVE
ROCKWALL, TX 75032

LAM PROPERTY
3051 N GOLIAD ST
ROCKWALL, TX 75087

DOTSON MICHAEL J
306 COLUMBIA DR
ROCKWALL, TX 75032

SCHUMANN SHERRY
306 COUNTY ROAD 1581
ALBA, TX 75410

CLEATON JERRY LEE
306 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

CAMACHO MARC AND JARITA
306 HARBORVIEW DR
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
306 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CONFIDENTIAL
306 SHAMROCK CIRCLE
ROCKWALL, TX 75032

MCMINN KIMBERLY
306 VICTORY LN
ROCKWALL, TX 75032

MORALES JOSE
306 WILLIAMS ST
ROCKWALL, TX 75087

AMH 2014-2 BORROWER LLC
30601 AGOURA RD SUITE 200
AGOURA HILLS, CA 91301

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
30601 AGOURA ROAD SUITE 200
AGOURA HILLS, CA 91301

RIBAIL MAUREEN A
307 COLUMBIA DR
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI
307 HARBOR LANDING DR
ROCKWALL, TX 75032

CROMEENS SHAN
307 HARBORVIEW DR
ROCKWALL, TX 75032

NICKSON SPYGLASS LLC
307 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MADSON RICHARD ARLEN
307 VALIANT DR
ROCKWALL, TX 75032

MCNAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

SHANKS SAMUEL S
308 COLUMBIA DRIVE
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE
308 HARBOR LANDING DR
ROCKWALL, TX 75032

KAPRANTZAS ENTERPRISES LLC
308 HARBORVIEW DR
ROCKWALL, TX 75032

MCCLAIN-SMITH GARETH AND
DONNA L WINDSOR
308 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FRY RANOR C AND NORMA L
308 SHAMROCK CIRCLE
ROCKWALL, TX 75032

MCKINNEY NANCY C
309 COLUMBIA DR
ROCKWALL, TX 75032

GRIFFIN DAVID L ET UX
309 HARBOR LANDING DR
ROCKWALL, TX 75032

RENTFROW CHRISTOPHER
309 HARBORVIEW DR
ROCKWALL, TX 75032

WEBSTER MARY ANN
309 HENRY M CHANDLER DR
ROCKWALL, TX 75032

DEFRANCO JOHN S & DIANE B
309 VALIANT DR
ROCKWALL, TX 75032

BRIDGES MICHAEL AND DEBRA
310 COLUMBIA DR
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA
310 HARBOR LANDING DR
ROCKWALL, TX 75032

TCHAKAROV SVENTLIN
310 HARBORVIEW DR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
310 HENRY M CHANDLER DR
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC
310 VICTORY LN
ROCKWALL, TX 75032

JONES JEFFERY S & SHERIDAN D
311 COLUMBIA DR
ROCKWALL, TX 75032

WIZMANN ERIC & DALE
311 HARBOR LANDING DR
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

DEFRANCO JOHN S & DIANE B
311 VALIANT DR
ROCKWALL, TX 75032

KOZEL ALEXANDER & KIMBERLY
3110 FARM ROAD 195
PARIS, TX 75462

WHATLEY JEFF W AND DIANE
312 COLUMBIA DR
ROCKWALL, TX 75032

OIWA TAKAAKI
C/O OPEN HOUSE CO LTD
312 HARBOR LANDING DR
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

RUDOLPH CLIFFORD CHARLES
313 COLUMBIA DR
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
ROSSITZA I POPOVA
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

LOVELESS JERRY L & TOMMIE H
313 VALIANT DR
ROCKWALL, TX 75032

PHILLIPS ROBERT M AND ANNIE A
314 COLUMBIA DR
ROCKWALL, TX 75032

TURCHI ARLENE S
314 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

SMITH JOSHUA AND
MAEGAN HOLLOWAY
314 VALIANT DR
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY
314 VICTORY LN
ROCKWALL, TX 75032

NOE NATALIE
315 COLUMBIA DR
ROCKWALL, TX 75032

THOMPSON JIM B AND LEIGH A
315 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

JOHNSTON CAROLINE
315 VALIANT DR
ROCKWALL, TX 75032

ARCE JAIMY G
315 VICTORY LN
ROCKWALL, TX 75032

LOREDO SARAHI
315 VICTORY LN
ROCKWALL, TX 75032

HPA TEXAS SUB 2017-1 LLC
316 COLUMBIA DR
ROCKWALL, TX 75032

JUDD MANO
316 HARBOR LANDING DR
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

MAHAFFEY BARBARA L
317 COLUMBIA DR
ROCKWALL, TX 75032

HENDRICKSON PATSY A
317 HARBOR LANDING DR
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
317 HARBORVIEW DR
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
317 VALIANT DR
ROCKWALL, TX 75032

BYRD PATRICIA ANN TERRY
IRREVOCABLE TRUST
318 COLUMBIA DR
ROCKWALL, TX 75032

FITZSIMMONS LIVING TRUST
MARY ANN AND STEPHEN J FITZSIMMONS -
TRUSTEE
318 HARBOR LANDING DR
ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA
318 VALIANT DRIVE
ROCKWALL, TX 75032

FONTANA APRIL SHIRATSUKI
319 COLUMBIA DR
ROCKWALL, TX 75032

REYNOLDS MARVIN C JR & CLARE D
319 HARBOR LANDING DR
ROCKWALL, TX 75032

SELF SCOTT & JANET
319 HARBORVIEW DR
ROCKWALL, TX 75032

CZECH JOSHUA AND SHARONA
319 HENRY M CHANDLER DR
ROCKWALL, TX 75032

COPPLER GERALD
319 VALIANT DR
ROCKWALL, TX 75032

THORESON MARK R & VICTORIA L
319 YACHT CLUB DR
ROCKWALL, TX 75032

SINCLAIR SUE AND
JEREMY LEE SINCLAIR
32 LAKEWAY DRIVE
HEATH, TX 75032

STURGEON WILLIAM C & BETTY E
320 COLUMBIA DR
ROCKWALL, TX 75032

LOHR JAMES A & MARGARET P
320 HARBOR LANDING DR
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
320 HENRY M CHANDLER DR
ROCKWALL, TX 75032

POTTS JASON AND ANNA
320 PORTVIEW PLACE
ROCKWALL, TX 75032

HANSEN JOSH AND
RACHEL THORNQUIST
320 VALIANT DRIVE
ROCKWALL, TX 75032

PARKHILL ESTATES LLC
3205 TALON DR
RICHARDSON, TX 75082

CARRILLO JOHNNY
321 COLUMBIA DR
ROCKWALL, TX 75032

LINNSTAEDTER RANDALL AND KIMBERLY
321 HARBOR LANDING DR
ROCKWALL, TX 75032

SELF BILLY & KATIE
321 HARBORVIEW DR
ROCKWALL, TX 75032

BLASINGAME DAVID A AND LISA M HOUCHIN
321 VALIANT DR
ROCKWALL, TX 75032

CATHEY MARVA WALKER
321 YACHT CLUB DR
ROCKWALL, TX 75032

WEBSTER ALAN T
322 COLUMBIA DR
ROCKWALL, TX 75032

WOOD GEORGE & EVELYN
322 HARBOR LANDING DR
ROCKWALL, TX 75032

CONDIT TINA
322 VALIANT DRIVE
ROCKWALL, TX 75032

KAPILEVICH LEONID & ANNA ZABARSKAYA
KAPILEVICH
LEONID & ANNA KAPILEVICH FAMILY TRUST
323 COLUMBIA DR
ROCKWALL, TX 75032

IMRIE DONALD M & CHERYL K
323 HARBOR LANDING DR
ROCKWALL, TX 75032

OWENS MICHAEL V
323 VALIANT DR
ROCKWALL, TX 75032

DERIDDER CASPAR L
323 YACHT CLUB DR
ROCKWALL, TX 75032

LIKE LARRY D & MELISA L
324 COLUMBIA DRIVE
ROCKWALL, TX 75032

BRADSHAW MARCKUS LEWIS AND
VANESSA RIZZARI
324 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

GALLANT ENTERPRISE LLC
325 COLUMBIA DR
ROCKWALL, TX 75032

GRAY RUSSELL LEE
325 HARBOR LANDING DR
ROCKWALL, TX 75032

CULLEN GREGORY L & JEAN C
325 HARBORVIEW DR
ROCKWALL, TX 75032

GUNDERSON BLAKE AND
CASEY MARIE VICKERS
325 VALIANT DR
ROCKWALL, TX 75032

SIVILS BOB R & LINDA LUDDEN SIVILS
325 YACHT CLUB DR
ROCKWALL, TX 75032

HUGHES RONALD LYNN AND RITA
326 COLUMBIA DRIVE
ROCKWALL, TX 75032

DENIKE SARAH
326 HARBOR LANDING DR
ROCKWALL, TX 75032

LUCIA LODEMA S TRUSTEE
LUCIA REVOCABLE INTER-VIVOS TRUST
326 HARBORVIEW DR
ROCKWALL, TX 75032

JOHNSON TIFFANY MICHELLE
326 VALIANT DR
ROCKWALL, TX 75032

KORTES KAREN L
327 COLUMBIA DR
ROCKWALL, TX 75032

WAGONER SHANNON AND JAMES
327 HARBORVIEW DR
ROCKWALL, TX 75032

GENERAL DALE A & KATHRYN
327 VALIANT DR
ROCKWALL, TX 75032

ABOU-HAIDAR ISSA S & LAMORA
327 YACHT CLUB DR
ROCKWALL, TX 75032

HAIDAR LAMORA LUCIA AND ISSA ABOU
327 YACHT CLUB DR
ROCKWALL, TX 75032

BREEDLOVE STEPHEN WENN & NEITA P
328 COLUMBIA DRIVE
ROCKWALL, TX 75032

WHETSELL BETTY R
328 HARBOR LANDING DR
ROCKWALL, TX 75032

VELASCO ALEJANDRO PORTOCARRERO AND
STEPHANIE G ARAMAYO
328 HARBORVIEW DR
ROCKWALL, TX 75032

ANDERS LYNN M
329 COLUMBIA DRIVE
ROCKWALL, TX 75032

BOHORQUEZ DAVID
329 HARBORVIEW DR
ROCKWALL, TX 75032

IMBURGIA JAMES
329 VALIANT DR
ROCKWALL, TX 75032

BOOKHOUT JAMES M & KATHRYN C
329 YACHT CLUB DR
ROCKWALL, TX 75032

OLEKSINSKI MICHAEL A
330 COLUMBIA DR
ROCKWALL, TX 75032

MATTES JOHN AND TONG
330 HARBOR LANDING DR
ROCKWALL, TX 75032

MARTIN SERGIO ROBLEDO AND ANDRESSA
HENDLER
330 HARBORVIEW DR
ROCKWALL, TX 75032

BOOKHOUT JAMES C AND NICOLE
331 COLUMBIA DRIVE
ROCKWALL, TX 75032

MERCKLING BRYAN S AND STACY D
331 HARBORVIEW DR
ROCKWALL, TX 75032

STORY BRIAN K AND LANA K
331 VALIANT DRIVE
ROCKWALL, TX 75032

CLARK MELISSA JOYCE & MICHAEL JOHN
331 YACHT CLUB DRIVE
ROCKWALL, TX 75032

HURST RANDY L & CAROL J
332 COLUMBIA DR
ROCKWALL, TX 75032

BISHOP J PHIL
333 COLUMBIA DR
ROCKWALL, TX 75032

VOSPER ALAN AND SHIRLEY
333 HARBORVIEW
ROCKWALL, TX 75032

LE TAN T AND VIRGINIA I
333 VALIANT DR
ROCKWALL, TX 75032

KUIPERS ROY & KATHY SALFEN
333 YACHT CLUB DR
ROCKWALL, TX 75032

MANASCO MARTIN E AND LISA M
335 HARBORVIEW DR
ROCKWALL, TX 75032

DANIEL SANDRA SUE
335 VALIANT DR
ROCKWALL, TX 75032

JOHNSON DAVID LEO AND
LINDA J JOHNSON
337 HARBORVIEW DRIVE
ROCKWALL, TX 75032

HARMON H VICTOR
337 VALIANT DR
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
338 HENRY M CHANDLER DR
ROCKWALL, TX 75032

VIERLING DENNIS & LISA
339 HENRY M CHANDLER DR
ROCKWALL, TX 75032

THOMPSON PAIGE ELIZABETH
340 HENRY M CHANDLER
ROCKWALL, TX 75032

N & S PROPERTIES LLC
3402 ANTHONY CIR
ROWLETT, TX 75088

CAMACHO MARC AND JARITA
3409 BERMUDA DR
ROWLETT, TX 75088

WEBSTER MARY ANN
341 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MOHAN KENNETH
3415 WATERVIEW TRL
ROCKWALL, TX 75087

GARDNER DAVID L REV LIV TR
351 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GASSNER CECELIA ANN AND
WILLIAM ADAM PARK
352 HENRY M CHANDLER DR
ROCKWALL, TX 75032

VOLKMAN DOLORES A
353 HENRY M CHANDLER DR
ROCKWALL, TX 75032

QUILLEN BOBBY RAY JR
354 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KLINE LINDA ANN MULLANE
3543 VANCOUVER DRIVE
DALLAS, TX 75229

AMERICAN CONDO CORP OF HOUSTON
371 HENRY M CHANDLER DR
ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON
372 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KLINE LINDA ANN MULLANE
373 HENRY M CHANDLER DR
ROCKWALL, TX 75032

M & H PROPERTIES INC
374 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JOHNSON BRENT B & LINDA
3810 COVE RD
ROWLETT, TX 75088

FLEMING JOYCE MARIE
4 INTREPID CIR
ROCKWALL, TX 75032

LEPARD RICHARD L
400 ENDEAVOR CT
ROCKWALL, TX 75032

BAXTER STEVE & KARAN
401 COLUMBIA DR
ROCKWALL, TX 75032

KORTEMIER WILLIAM F
401 YACHT CLUB DR
ROCKWALL, TX 75032

MOULEDOUS ALFRED E JR
402 COLUMBIA DR
ROCKWALL, TX 75032

BAXTER STEVE & KARAN
403 COLUMBIA DR
ROCKWALL, TX 75032

BURNS LORRAINE
403 WEST WASHINGTON
ROCKWALL, TX 75087

KENTOPP RICHARD J & MELODY
403 YACHT CLUB DR
ROCKWALL, TX 75032

EZEROSKY BRENNIA KERI
404 COLUMBIA DR
ROCKWALL, TX 75032

HEIN PRISCILLA
404 ENDEAVOR CT
ROCKWALL, TX 75032

CONE YVONNE MARIE REVOCABLE LIVING
TRUST
4048 ROBIN ST
BAY ST LOUIS, MS 39520

CENSULLO FRANCIS
405 COLUMBIA DR
ROCKWALL, TX 75032

FULLER JULIE
405 YACHT CLUB DR
ROCKWALL, TX 75032

HUGHES THOMAS AND MADISON
406 COLUMBIA DR
ROCKWALL, TX 75032

MEZA LUIS FELIPE AND LAURA P POHLS
406 ENDEAVOR COURT
ROCKWALL, TX 75032

MALLARD DAVID S & SHERRY A
407 COLUMBIA DR
ROCKWALL, TX 75032

ARNAIZ REVOCABLE TRUST OF AUGUST 3, 2017
ANTHONY GENE ARNAIZ AND LANA MICHELLE
ARNAIZ- TRUSTEES
407 ISBEL DRIVE
SANTA CRUZ, CA 95060

WISE RUTHANNE
407 YACHT CLUB DRIVE
ROCKWALL, TX 75032

TULK SHERRY
408 COLUMBIA DR
ROCKWALL, TX 75032

TULK SHARON K
408 COLUMBIA DR
ROCKWALL, TX 75032

FARR MATTHEW & AMBER
408 ENDEAVOR COURT
ROCKWALL, TX 75032

SCHREIBER JIMMY D & INEZ
409 COLUMBIA DR
ROCKWALL, TX 75032

JONES KEITH R & TERESA K
409 YACHT CLUB DR
ROCKWALL, TX 75032

NELSON JERRY C & MARIBETH TRUSTEES
NELSON FAMILY LIVING TRUST
410 COLUMBIA DR
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST
JERRY C NELSON AND MARIBETH NELSON-
TRUSTEES
410 COLUMBIA DRIVE
ROCKWALL, TX 75032

MCKAY WILLIAM R & LINDA S
4109 DESERT GARDEN DR
PLANO, TX 75093

CHRISTENSEN DAVID J & STACEY
411 COLUMBIA DRIVE
ROCKWALL, TX 75032

WATSON JARRETT A
411 YACHT CLUB DR
ROCKWALL, TX 75032

VANDIGRIFF VICTORIA LYNN
4118 NORMANDY AVE
DALLAS, TX 75205

MARTIN MAX E
412 COLUMBIA DR
ROCKWALL, TX 75032

COMPTON WILLIAM H & JAYNE
412 ENDEAVOR CT
ROCKWALL, TX 75032

HYDEMAN ROBERT B JR
413 COLUMBIA DR
ROCKWALL, TX 75032

MACGILVARY ERIN
413 YACHT CLUB DRIVE
ROCKWALL, TX 75032

KERR DALE LESLIE AND SUSAN ALLEN
414 COLUMBIA DRIVE
ROCKWALL, TX 75032

LILES MICHAEL AND JO ANN
414 ENDEAVOR CT
ROCKWALL, TX 75032

SLATON CAREN M
4142 UNIVERSITY BLVD
DALLAS, TX 75205

WHITTEN DON AND PATRICE
415 COLUMBIA DR
ROCKWALL, TX 75032

STEVENSON LARRY KEITH
416 COLUMBIA DR
ROCKWALL, TX 75032

BRANDON CHRIS B & TINA MARIE
417 COLUMBIA DR
ROCKWALL, TX 75032

JORDAN PAMELLA W
419 COLUMBIA DR
ROCKWALL, TX 75032

BREWER JAMES ASHLEY JR
420 COLUMBIA DR
ROCKWALL, TX 75032

THOMPSON FRED AND LINDA
421 COLUMBIA DRIVE
ROCKWALL, TX 75032

#23 INVESTMENTS LLC
422 COLUMBIA DR
ROCKWALL, TX 75032

BRIGHT CHRISTOPHER J JOHN
423 COLUMBIA DR
ROCKWALL, TX 75032

HANKINS MICHAEL L & VICKI S
425 COLUMBIA DR
ROCKWALL, TX 75032

O'BOYLE MICHAEL
426 YACHT CLUB DR
ROCKWALL, TX 75032

STENBERG BARBARA JANE
426 YACHT CLUB DR APT C
ROCKWALL, TX 75032

CONINE CHRISTOPHER T
426 YACHT CLUB DR UNIT B
ROCKWALL, TX 75032

PETTITT GREGORY S AND CONNIE L
426 YACHT CLUB DRIVE APT D
ROCKWALL, TX 75032

WEEKLEY PATRICIA H
426 YACHT CLUB DRIVE #G UNIT C-3
ROCKWALL, TX 75032

YANGER MORRIS & DORIS
427 COLUMBIA DR
ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC
427 PRIVATE ROAD 2939
PITTSBURG, TX 75686

DUDEK PROPERTIES LLC
428 COLUMBIA DR
ROCKWALL, TX 75032

WRIGHT RHONDA LYNN
428 YACHT CLUB DR APT C
ROCKWALL, TX 75032

WRIGHT RHONDA
428C YACHT CLUB DR
ROCKWALL, TX 75032

ROLAND JAMES & DEBRA JAN
429 COLUMBIA DR
ROCKWALL, TX 75032

KAY SUZANNE KAY
430E YACHT CLUB DRIVE
ROCKWALL, TX 75032

KELLY DONNA
431 COLUMBIA DR
ROCKWALL, TX 75032

BARRINGER VAN
4310 COCHRAN CHAPEL CIR
DALLAS, TX 75209

DUDEK PROPERTIES LLC
432 COLUMBIA DR
ROCKWALL, TX 75032

DUDEK JOHN F AND JENNIFER H
432 COLUMBIA DR
ROCKWALL, TX 75032

GESSNER JOHN B
433 COLUMBIA DR
ROCKWALL, TX 75032

LAMBERTH ROBERT B & JENNIFER J
435 COLUMBIA DR
ROCKWALL, TX 75032

MORRISON DEBRA
436 COLUMBIA DR
ROCKWALL, TX 75032

BECK JOAN K
436 YACHT CLUB DR APT A
ROCKWALL, TX 75032

DAVIS KERRI
436 YACHT CLUB DR #G
ROCKWALL, TX 75032

HALL DEREK
436C YACHT CLUB DRIVE
ROCKWALL, TX 75032

BENSON CURT R
438 COLUMBIA DRIVE
ROCKWALL, TX 75032

JOHNSTON CAROL RUTH
438 YACHT CLUB #E
ROCKWALL, TX 75032

JAMES DEBRA SUE
438 YACHT CLUB DR APT D
ROCKWALL, TX 75032

TUCKER ASHLEY NICOLE
438 YACHT CLUB DR #G
ROCKWALL, TX 75032

FISHER TED Y
4404 PLACIDIA AVE
TOLUCA LAKE, CA 91602

BRUNS BEVERLY LYNN
440B YACHT CLUB DR
ROCKWALL, TX 75032

GREENBERG MARC K
442 COLUMBIA DR
ROCKWALL, TX 75032

VREELAND DENISE AND
DAN CALNON
442 YACHT CLUB DRIVE #B
ROCKWALL, TX 75032

PAYNE JOHN R
444 COLUMBIA DR
ROCKWALL, TX 75032

ARMSTRONG D
446 COLUMBIA DR
ROCKWALL, TX 75032

FODGE JEFF & GLENDA
448 WYNDEMERE BLVD
HEATH, TX 75032

CARRIGAN DOROTHY
450 YACHT CLUB DR APT B
ROCKWALL, TX 75032

ARMSTRONG MARK C
450 YACHT CLUB DRIVE UNIT C
ROCKWALL, TX 75032

RUNYON FLOYD D AND DANA
450 YACHT CLUB DRIVE UNIT # A
ROCKWALL, TX 75032

RUBENSTEIN ALAN J AND
GINA L STRICKLIN
4501 YACHT CLUB DR
ROCKWALL, TX 75032

XU JINGRU
4529 CROSSTIMBER DR
PLANO, TX 75093

POWELL COQUEACE
454 S YACHT CLUB DRIVE A
ROCKWALL, TX 75032

MCCALISTER SHAWN D & RUSS W WILLIAMSON
&
ELIZABETH R WILLIAMSON
456A YACHT CLUB DR
ROCKWALL, TX 75032

GREEN JOHN W JR
458 YACHT CLUB DR APT A
ROCKWALL, TX 75032

HILE CARLA J
4609 STEEPLE CHASE LN
ROCKWALL, TX 75032

AUSBURN CHARLES NEAL
4614 GILBERT AVE
DALLAS, TX 75219

ROCKWALL MARINA DEVELOPMENT LLC
4701 COPPER MOUNTAIN LANE
RICHARDSON, TX 75082

ALLEN FAMILY TRUST
ROBERT E ALLEN AND ELEANOR I ALLEN-
TRUSTEES
480 N WINCHESTER BLVD. #7
SANTA CLARA, CA 95050

SEASONED STRUCTURES LLC SERIES B
4910 PORTOLA DR
GARLAND, TX 75043

DAVIS GEORGE
5 DARR RD
HEATH, TX 75032

DAVIS NITA
5 DARR ROAD
HEATH, TX 75032

N & S PROPERTIES LLC
3402 ANTHONY CIR
ROWLETT, TX 75088

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

ROMER ENTERPRISES LLC
2311 NORWICH DR
CARROLLTON, TX 75006

AURINGER JENNIFER & JONATHAN
5 INTREPID CIR
ROCKWALL, TX 75032

UDSTUEN ERIKA ANN
501 COLUMBIA DRIVE
ROCKWALL, TX 75032

CHANDLERS LANDING COMMUNITY ASSOC
501 YACHT CLUB DR
ROCKWALL, TX 75032

UDSTUEN STEPHENSON
502 COLUMBIA DR
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
502 TERRY LN
HEATH, TX 75032

WOMBLE JOHN
503 COLUMBIA DRIVE
ROCKWALL, TX 75032

HUDSON REAL ESTATE HOLDINGS LLC
503 MARINER DR
ROCKWALL, TX 75032

KAHL STEPHEN M & KAREN E
504 MARINER DR
ROCKWALL, TX 75032

TURSCHAK JAIME
505 COLUMBIA DRIVE
ROCKWALL, TX 75032

HUDSON REAL ESTATE HOLDINGS LLC
505 MARINER DR
ROCKWALL, TX 75032

OIWA TAKAAKI
C/O OPEN HOUSE CO LTD
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

HIBBARD WILLIAM
506 COLUMBIA DR
ROCKWALL, TX 75032

HIBBARD VIRGINIA
506 COLUMBIA DR
ROCKWALL, TX 75032

HUDSON REAL ESTATE HOLDINGS LLC
507 MARINER DR
ROCKWALL, TX 75032

BLAKELY DENNIS DALE AND SARA ALLEN
508 COLUMBIA DRIVE
ROCKWALL, TX 75032

ALLYSON VAN OS RESIDENCE TRUST 07-05-87
ALLYSON VAN OS - SUCCESSOR TRUSTEE
508 MARINER DR
ROCKWALL, TX 75032

HUDSON REAL ESTATE HOLDINGS LLC
509 MARINER DR
ROCKWALL, TX 75032

DEVINE GRAEME J & LORI
510 COLUMBIA DR
ROCKWALL, TX 75032

HONEYCUTT WELDON & LINDA
5102 YACHT CLUB DR
ROCKWALL, TX 75032

BUSS LARRY D & KAREN K
5103 YACHT CLUB DR
ROCKWALL, TX 75032

BOUGHTON JANENE
MARK STUERTZ
5104 YACHT CLUB DR
ROCKWALL, TX 75032

SOUTHAM THOMAS & MELISSA
5106 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RIAZ SUMERA
5108 YACHT CLUBDR
ROCKWALL, TX 75032

HUDSON REAL ESTATE HOLDINGS LLC
511 MARINER DR
ROCKWALL, TX 75032

DEBENDER RACHEL M AND
MADELINE A GEARY
512 COLUMBIA DR
ROCKWALL, TX 75032

HIGHT LINDA ANN
512 MARINER DRIVE
ROCKWALL, TX 75032

CASTER JAMES E JR AND MILINDA J
512 PRIVATE RD 52444
LEESBURG, TX 75451

VAN AMBURGH GORDON D JR & JEANNE M
514 COLUMBIA DR
ROCKWALL, TX 75032

LAQUEY DIANA
516 LAS LOMAS DR
HEATH, TX 75032

HAMMOND HUDDLE LIVING TRUST
EUGENE WESLEY HUDDLE AND JANE
HAMMOND, TRUSTEES
519 E I-30 #704
ROCKWALL, TX 75087

NIETO RENAY
519 E INTERSTATE 30
ROCKWALL, TX 75087

HARMON HOSEA VICTOR & ELIZABETH C
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

SPYGLASS HILL CONDOMINIUMS PHASE II
519 I-30 #330
ROCKWALL, TX 75087

LAYENDECKER TIMOTHY P & SHAHLA
519 INTERSTATE 30 #629
ROCKWALL, TX 75087

THOMAS JERRY & MARSHA
5202 YACHT CLUB DR
ROCKWALL, TX 75032

COWAN AMY
DAVID SPOENEMAN
5203 SCARBOROUGH LN
DALLAS, TX 75287

BARRY JOYCE
5204 YACHT CLUB DR
ROCKWALL, TX 75032

ROCK SOUTH INVESTMENTS LTD. A TEXAS
LIMITED PARTNERSHIP
5206 YACHT CLUB DR
ROCKWALL, TX 75032

METRY GREGORY K
5208 YACHT CLUB DRIVE
ROCKWALL, TX 75032

TRAYAH LLC
522 YACHT CLUB DR
ROCKWALL, TX 75032

GUNTER MARGIE ANN
524 YACHT CLUB DR
ROCKWALL, TX 75032

COLLICHIO KIMBERLY ANN
526 YACHT CLUB DR
ROCKWALL, TX 75032

SELZER DEANNA
528 YACHT CLUB DR
ROCKWALL, TX 75032

WILLIS PATRICIA D
530 YACHT CLUB DR
ROCKWALL, TX 75032

DAVIES DAVID B & HELEN J
5302 YACHT CLUB DR
ROCKWALL, TX 75032

NORTON JO ANN
5303 YACHT CLUB DR
ROCKWALL, TX 75032

HOLMGREN DENNIS M AND JO ANN
5303 YACHT CLUB DRIVE
ROCKWALL, TX 75032

WILLIAMS VICTORIA L & DAVID B
5304 YACHT CLUB DR
ROCKWALL, TX 75032

MARTIN CAREN
5305 YACHT CLUB DR
ROCKWALL, TX 75032

ADRIAN AMANDA C AND MICHAEL S
5306 YACHT CLUB DR
ROCKWALL, TX 75032

ADDISON MARAVIN G AND FAYE
5308 YACHT CLUB DR.
ROCKWALL, TX 75033

VINES AMY
532 YACHT CLUB DR
ROCKWALL, TX 75032

ROSHAN KC
5335 BROADWAY BLVD #210
GARLAND, TX 75043

SALT PROPERTIES LLC
534 YACHT CLUB DRIVE
ROCKWALL, TX 75032

TROTTER STEVEN DOUGLAS & LISA ANN
534 YACHT CLUB DRIVE
ROCKWALL, TX 75032

TYBONE PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

PEARMAN JANICE
536 YACHT CLUB DR
ROCKWALL, TX 75032

ULMEN PEGGY SUE
538 YACHT CLUB DR
ROCKWALL, TX 75032

VAN AMBURGH GORDON D JR & JEANNE M
540 LOMA VIST
HEATH, TX 75032

P V REAL ESTATE HOLDINGS SERIES LLC SERIES D
540 NANCE RD
SUNNYVALE, TX 75182

2016 BLUM REVOCABLE TRUST
JENNIFER REBECCA BLUM- TRUSTEE
540 YACHT CLUB DR
ROCKWALL, TX 75032

DUNCAN HAL & EILEEN
5401 RANGER DR
ROCKWALL, TX 75032

ODOM JOSHUA D-WAYNE AND LACEY
ALEXANDRA
5402 YACHT CLUB DRIVE
ROCKWALL, TX 75032

JANAK JUDY A AND MICHAEL K BOX
5403 RANGER DR
ROCKWALL, TX 75032

DEVINE LORI AND GRAEME
5405 RANGER DR
ROCKWALL, TX 75032

MONTGOMERY WILLIAM C & DIANE
5406 YACHT CLUB DR
ROCKWALL, TX 75032

DALTON PAMELA GAY
5407 RANGER DR
ROCKWALL, TX 75032

COLEMAN WILL
5408 YACHT CLUB DR
ROCKWALL, TX 75032

RICH JEFFREY
5409 RANGER DR
ROCKWALL, TX 75032

RICH JEFFREY M
5411 RANGER DRIVE
ROCKWALL, TX 75032

RICH JEFFREY
5411 RANGER DRIVE
ROCKWALL, TX 75032

THOMAS VICKI
5412 RANGER DR
ROCKWALL, TX 75032

HIBBARD VIRGINIA
5413 RANGER DR
ROCKWALL, TX 75032

PIXLEY ENTERPRISES AND
ANDREA PIXLEY
5414 RANGER DR
ROCKWALL, TX 75032

PETER GAIL M
5416 RANGER DR
ROCKWALL, TX 75032

KUIPERS KATHY & ROY
5418 RANGER DR
ROCKWALL, TX 75032

KOMP STEPHEN J
5419 RANGER DRIVE
ROCKWALL, TX 75032

STIEGELMAR RICHARD L AND DORA L
542 YACHT CLUB DR
ROCKWALL, TX 75032

OTTEN STEVEN E
5420 RANGER DR
ROCKWALL, TX 75032

JOHNSON LINDA AND DAVID
5421 RANGER DR
ROCKWALL, TX 75032

LEEDS JULIE
5422 RANGER DR
ROCKWALL, TX 75032

FULLER JULIE
5425 BYERS AVE
FORT WORTH, TX 76107

LUND MICHAEL J AKA
MICHAEL LUND AND CHIZUKO T LUND AKA
CHIZUKO LUND
5425 RANGER DRIVE
ROCKWALL, TX 75032

THOMAS VICKIE SUE
5427 RANGER DR
ROCKWALL, TX 75032

CONFIDENTIAL
5433 RANGER DR
ROCKWALL, TX 75032

RAINEY JOEL A & PAULA N
5434 RANGER DR
ROCKWALL, TX 75032

DOVE JAMES & BARBARA
5436 RANGER DR
ROCKWALL, TX 75032

LIKE JOHN MILES
5437 RANGER DR
ROCKWALL, TX 75032

RUBENSTEIN ALAN AND
GINA STRICKLIN
5438 RANGER DR
ROCKWALL, TX 75032

MARTIN LAKESHORE PROPERTIES LLC
544 YACHT CLUB DR
ROCKWALL, TX 75032

PIXLEY SUZANNE
5440 RANGER DR
ROCKWALL, TX 75032

HILL SAMUEL J
5441 RANGER DR
ROCKWALL, TX 75032

PIXLEY SUZANNE M
5442 RANGER DR
ROCKWALL, TX 75032

DEATON JOSHUA AND AMANDA
5446 RANGER DR
ROCKWALL, TX 75032

GILL ATLANTA PROPERTIES LLC
545 KIRNWOOD DRIVE
DALLAS, TX 75232

GARCIA SERGIO
5453 RANGER DR
ROCKWALL, TX 75032

Haidar Lamora Lucia and Issa Abu
5501 Canada Ct
Rockwall, TX 75032

Schultz Kathy L & Larry R
5501 Ranger Dr
Rockwall, TX 75032

Cullen Seth Lawrence and Gabrielle
5501 Yacht Club Dr
Rockwall, TX 75032

Iwai Akio
C/O Open House Co Ltd, 11th Floor
5502 Australia Ct
Rockwall, TX 75032

Schlett Karla and Scott Shepherd
5502 Canada Ct
Rockwall, TX 75032

Marshall Samuel and Diana
5502 Challenger Ct
Rockwall, TX 75032

Davis William H & Patricia L
5502 Yacht Club Dr
Rockwall, TX 75032

Mgboomer LLC
5503 Canada Ct
Rockwall, TX 75032

Denney Zachary Lewis
5503 Ranger Dr
Rockwall, TX 75032

Linley Zachary and Elizabeth Holland-
5504 Australia Court
Rockwall, TX 75032

James Justin & Lindsey
5504 Canada Court
Rockwall, TX 75032

Mckay Adrian and Roberta
5504 Challenger Ct
Rockwall, TX 75032

Henry Sue E
5504 Yacht Club Dr
Rockwall, TX 75032

Sexton Shawn Revocable Trust
5505 Ranger Dr
Rockwall, TX 75032

Hammond Huddle Living Trust
Eugene Wesley Huddle and Jane
Hammond, Trustees
5505 Yacht Club Dr
Rockwall, TX 75032

Wilson Stephen L & Janprapha T
5506 Australia Ct
Rockwall, TX 75032

Fellers Carol
5506 Canada Ct
Rockwall, TX 75032

Kjt Flying Properties LLC
5506 Challenger Ct
Rockwall, TX 75032

Angeline Thompson Revocable Living
Trust
Angela Michelle Horak- Trustee
5507 Yacht Club
Rockwall, TX 75032

Young Sherry White
5508 Australia Ct
Rockwall, TX 75032

Howell Steve & Sharon
5508 Cambria Dr
Rockwall, TX 75032

Odie Connie L
5508 Canada Court
Rockwall, TX 75032

Norton Angela
5508 Challenger Ct
Rockwall, TX 75032

Latimer Tammy & Donald
5509 Ranger Dr
Rockwall, TX 75032

Desrosiers Ronald J
5510 Australia Ct
Heath, TX 75032

Ferguson Kenneth Lee
5510 Canada Ct
Rockwall, TX 75032

Bradshaw Adrian & Andrielle Jones
5510 Challenger Court
Rockwall, TX 75032

Taylor Joe & Cindy
5511 Australia Ct
Rockwall, TX 75032

Garcia Luis
5512 Canada Ct
Rockwall, TX 75032

Best James and Debra
5512 Challenger Ct
Rockwall, TX 75032

LANCE DONNIE C & MARY
5514 AUSTRALIA CT
ROCKWALL, TX 75032

PETERS LEONARD R AND SANDY JO
5514 CANADA CT
ROCKWALL, TX 75032

STARBIRD RYAN D AND LAUREN
5514 CHALLENGER CT
ROCKWALL, TX 75032

CLARK TAWANA
5516 AUSTRALIA CT
ROCKWALL, TX 75032

SEAY JIMMY & CYNTHIA F
5516 CANADA CT
ROCKWALL, TX 75032

CABANISS CHAR CHERICE
DAVID R DE LA CERDA
5516 CHALLENGER CT
ROCKWALL, TX 75032

TORRES HECTOR EDUARDO LOPEZ AND
LUIS FERNANDO LOPEZ
5518 AUSTRALIA CT
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

MORRISON MICHAEL S
552 YACHT CLUB DRIVE
ROCKWALL, TX 75032

KING JON JOSHUA
5520 AUSTRALIA CT
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5520 CHALLENGER CT
ROCKWALL, TX 75032

BUTLER MARY DELINA
5522 CHALLENGER COURT
ROCKWALL, TX 75032

CONFIDENTIAL
5526 CHALLENGER COURT
ROCKWALL, TX 75032

SHELTON ROBERT M
5528 CHALLENGER CT
ROCKWALL, TX 75032

WATKINS JAMES & ELLEN
5530 CHALLENGER CT
ROCKWALL, TX 75032

WILLIAMS MARLENE
5533 CANADA COURT
ROCKWALL, TX 75032

PRINE ROBERT HAROLD JR
5534 CANADA COURT
ROCKWALL, TX 75032

MAXCEY THOMAS CHRISTOPHER & KIRSTEN
JOANN
5535 CANADA CT
ROCKWALL, TX 75032

KOZEL ALEXANDER & KIMBERLY
5536 CANADA CT
ROCKWALL, TX 75032

E C LIVING LLC
5537 CANADA CT
ROCKWALL, TX 75032

CAVENDISH DENIS G
5538 CANADA CT
ROCKWALL, TX 75032

SMOTHERMON DONNA GAIL
5539 CANADA COURT
ROCKWALL, TX 75032

LOGAN PAULINE K
554 VZ COUNTY ROAD 2139
CANTON, TX 75103

2016 BLUM REVOCABLE TRUST
JENNIFER REBECCA BLUM, TRUSTEE
554 YACHT CLUB
ROCKWALL, TX 75032

MULLENIX DIANE
5541 CANADA COURT
ROCKWALL, TX 75032

MUNDO JOSEPH C & PAMELA J
5542 CANADA CT
ROCKWALL, TX 75032

ALLEN FAMILY TRUST
ROBERT E ALLEN AND ELEANOR I ALLEN-
TRUSTEES
5543 CANADACT
ROCKWALL, TX 75032

JONES KEITH R & TERESA K
5544 CANADA CT
ROCKWALL, TX 75032

JONES KEITH AND TERESA K
5544 CHANDLERS COURT
ROCKWALL, TX 75032

OWEN JAMI HUBER
5546 CANADA COURT
ROCKWALL, TX 75032

ATASHI TOWN HOMES LLC
5548 CANADA CT
ROCKWALL, TX 75032

FREEMAN STEPHEN M
5550 CANADA CT
ROCKWALL, TX 75032

NIETO RENAY
5552 CANADA CT
ROCKWALL, TX 75032

SCHOENEMAN JAMES B
5554 CANADA CT
ROCKWALL, TX 75032

2016 BLUM REVOCABLE TRUST
JENNIFER REBECCA BLUM- TRUSTEE
5556 CANADA CT
ROCKWALL, TX 75032

JORDAN RICHARD WAYNE
5558 CANADA COURT
ROCKWALL, TX 75032

VAUGHAN SANDRA K
556 YACHT CLUB DR UNIT 1
ROCKWALL, TX 75032

PIXLEY SUZANNE M & ANDREA J
5560 CANADA COURT
ROCKWALL, TX 75032

PIXLEY ANDREA J AND SUZANNE M
5560 CANADA CT
ROCKWALL, TX 75032

PIXLEY ANDREA J AND SUZANNE M
5562 CANADA CT
ROCKWALL, TX 75032

PIXLEY ANDREA AND
SUZANNE PIXLEY
5564 CANADA CT
ROCKWALL, TX 75032

PIXLEY ANDREA J AND SUZANNE M
5566 CANADA CT
ROCKWALL, TX 75032

STITES TOM
5568 CANADA CT
ROCKWALL, TX 75032

PUSCH CHRISTA
5569 CANADA CT
ROCKWALL, TX 75032

KRAVETZ STEVEN M ETUX
5570 CANADA CT
ROCKWALL, TX 75032

MILLER DIXIE
5571 CANADA CT
ROCKWALL, TX 75032

WATTERSON RONALD E & MICHAEL E
SAMBOGNA
5572 CANADA CT
ROCKWALL, TX 75032

PIXLEY ANDREA
5573 CANADA CT
ROCKWALL, TX 75032

SINISCALCHI JOSEPH W & KIMBERLY A
5574 CANADA CT
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
5575 CANADA CT
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
5575 CANADA CT
ROCKWALL, TX 75032

M & H PROPERTIES INC
5575 CANADA CT
ROCKWALL, TX 75032

HETTINGER HAYS V & MARGARET A
5576 CANADA CT
ROCKWALL, TX 75032

PALMER TODD P AND NEELIE HUFF
5579 CANADA CT
ROCKWALL, TX 75032

SPEED STEVEN C AND KAYLA MARIE
SPEED STEVEN C AND KAYLA MARIE
558 YACHT CLUBD R
ROCKWALL, TX 75032

HAWN LESLEE AND WILLIAM RUSSELL
5580 CANADA CT
ROCKWALL, TX 75032

AUBREY Q & YVONNE M PATTERSON
REVOCABLE LIVING TRUST
AUBREY Q & YVONNE M PATTERSON TRUSTEES
5581 CANADA COURT
ROCKWALL, TX 75032

HITT JAMES
5583 CANADA COURT
ROCKWALL, TX 75032

SPEED JOE E
560 YACHT CLUB DR
ROCKWALL, TX 75032

MILLER DAVID W & GAIL M
5601 CAMBRIA DRIVE
ROCKWALL, TX 75032

MARTIN FREDERICK & SONJA
5601 RANGER DR
ROCKWALL, TX 75032

MARTIN LAKESHORE PROPERTIES LLC
5601 RANGER DR
ROCKWALL, TX 75032

BLOCKER LINDA SUE
5601 YACHT CLUB DRIVE
ROCKWALL, TX 75032

SEASONED STRUCTURES LLC SERIES B
5602 CAMBRIA DR
ROCKWALL, TX 75032

BECK ANTHONY M
5602 CANADA CT
HEATH, TX 75032

WOMACK NATALIE AND
JACOB BAYS
5602 YACHT CLUB DRIVE
ROCKWALL, TX 75032

WITHROW CARON
5603 CAMBRIA DR
ROCKWALL, TX 75032

KING RONALD H AND
DEBBIE D RENFROW
5603 YACHT CLUB DRIVE
ROCKWALL, TX 75032

DUDLEY KAREN
5604 CAMBRIA DRIVE
ROCKWALL, TX 75032

FARIS CHARLES M AND DAWN M
5604 CANADA CT
ROCKWALL, TX 75032

CASSAR JEFFREY AND JENNIFER
5604 YACHT CLUB DR
ROCKWALL, TX 75032

WANDREY ERIN
5605 CAMBRIA DRIVE
ROCKWALL, TX 75032

CLEVINGER JOHN
5605 RANGER DRIVE
ROCKWALL, TX 75032

WHITE DAVID RANDALL
5606 CAMBRIA DR
ROCKWALL, TX 75032

ZENGLER J R AND BARBARA
5606 CANADA COURT
ROCKWALL, TX 75087

2020 R K SANDKNOP REVOCABLE TRUST
RYAN TERRANCE SANDKNOP AND KATIE ANNE
SANDKNOP
5606 RANGER DRIVE
ROCKWALL, TX 75032

T & B FAMILY LIMITED PARTNERSHIP
5606 YACHT CLUB DR
ROCKWALL, TX 75032

CHAVEZ JAIME AND SENONA
5607 CAMBRIA DR
ROCKWALL, TX 75032

FEW TOMMY WAYNE
5607 RANGER DRIVE
ROCKWALL, TX 75032

BUTTLES HOLLI M LOVELESS
5608 CANADA CT
ROCKWALL, TX 75032

ROBERTSON JEANNINE
5608 YACHT CLUB
ROCKWALL, TX 75032

BROWN IAN AND JESSICA
5609 CAMBRIA DR
ROCKWALL, TX 75032

PROFFER PAUL D & CAROL W
5610 CAMBRIA DR
ROCKWALL, TX 75032

ROBISON AARON AND AMY M
5610 CANADA CT
ROCKWALL, TX 75032

LALONDE SCOTT M AND MEGAN B
5610 YACHT CLUB DRIVE
ROCKWALL, TX 75032

AUSBURN CHARLES NEAL
5611 CAMBRIA DR
ROCKWALL, TX 75032

FUENTES GERARDO & GENISE
5612 CAMBRIA DRIVE
ROCKWALL, TX 75032

GARDNER MICHAEL J
5613 CAMBRIA DR
ROCKWALL, TX 75032

SANCHEZ DIANA AND JERRY
5614 CAMBRIA DRIVE
ROCKWALL, TX 75032

ELLIOTT LARRY & MARY
5616 CAMBRIA DR
ROCKWALL, TX 75032

BAILEY KENNETH R & DEBBIE A
5618 CAMBRIA DRIVE
ROCKWALL, TX 75032

WONG PAUL C & POLLY W
5620 CAMBRIA DR
ROCKWALL, TX 75032

UTHLAUT WILLIAM S
5622 CAMBRIA DR
ROCKWALL, TX 75032

COOPER NEAL B
5624 CAMBRIA DR
ROCKWALL, TX 75032

WALLACE JOSHUA RAY AND
MANDI LYNN HEATHERLY
5626 CAMBRIA DRIVE
ROCKWALL, TX 75032

ARNOLD TIMOTHY S AND SHELLEY R
5700 RANGER DR
ROCKWALL, TX 75032

WEST JAKE EDWARD AND RACHEL
5701 YACHT CLUB
ROCKWALL, TX 75032

MATA VICTOR H AND FILOMENA
5702 RANGER DR
ROCKWALL, TX 75032

OWEN DONALD H
5702 SOUTHERN CROSS
ROCKWALL, TX 75032

FERGUSON MICHEAL & DEBBIE
5703 RANGER DR
ROCKWALL, TX 75032

LANG JOSEPH W III &
LISA PAPANICOLAS-LANG
5703 YACHT CLUB DR
ROCKWALL, TX 75032

COGGESHALL LON CHRISTIAN
5704 RANGER DRIVE
ROCKWALL, TX 75032

NOLAN STEPHEN
5704 SOUTHERN CROSS DR
ROCKWALL, TX 75032

RICHARD J MALAK AND BARBARA E MALAK
REVOCABLE LIVING TRUST
5704 YACHT CLUB DRIVE
ROCKWALL, TX 75032

LAROUX TONI D
5705 RANGER DR
ROCKWALL, TX 75032

SORENSEN DEBORAH R & ROBERT S
5705 SOUTHERN CROSS DR
ROCKWALL, TX 75032

SCHUMANN SHERRY
5705 YACHT CLUB DR
ROCKWALL, TX 75032

CROUCH DANIEL AND CHRISTINA
5706 RANGER DR
ROCKWALL, TX 75032

FURBAY CHARLES EUGENE & ANN ELIZABETH
5706 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

GARCIA NAVARRO ANA V
5707 RANGER DR
ROCKWALL, TX 75032

KING SHILA
5707 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

GANDY JAMES BRADY & EDNA
5707 YACHT CLUB DRIVE
ROCKWALL, TX 75032

LAM PROPERTY
5708 SOUTHERN CROSS DR
ROCKWALL, TX 75032

REYNOLDS TIM A
5709 RANGER DR
ROCKWALL, TX 75032

PIXLEY SUZANNE AND ANDREA J
5709 SOUTHERN CROSS DR
ROCKWALL, TX 75032

WRIGHTSON DAVID J SR
5709 YACHT CLUB DR
ROCKWALL, TX 75032

DEFRANCO JOHN
5710 SOUTHERN CROSS
ROCKWALL, TX 75032

VILLAROMAN LEO D MD & MARIA E
5711 RANGER DRIVE
ROCKWALL, TX 75032

POESCHEL MARK & AURORA
5711 SOUTHERN CROSS DR
ROCKWALL, TX 75032

WHITE GUY B AND
JESSICA CANTON
5711 YACHT CLUB DRIVE
ROCKWALL, TX 75032

LEMASTER MARK & JILL
5712 SOUTHERN CROSS DR
ROCKWALL, TX 75032

BOWERS WILLIAM AND STEPHANIE
5713 RANGER DR
ROCKWALL, TX 75032

RUSHING ROGER D & DEBORAH C
5713 SOUTHERN CROSS DR
ROCKWALL, TX 75032

CURTIN DENIS ELLIOT
5715 RANGER DR
ROCKWALL, TX 75032

JENNISON FAMILY HOMESTEAD TRUST
JEROME R JENNISON AND NANCY E JENNISON-
TRUSTEES
5716 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

FRANCE COURT PROPERTIES LLC
5720 SOUTHERN CROSS DR
ROCKWALL, TX 75032

CHESNA THOMAS E &
VICTORIA D CHESNA LIVING TR
5720 SOUTHERN CROSS DR
ROCKWALL, TX 75032

BRANCO ANTHONY J
5731 SOUTHERN CROSS DR
ROCKWALL, TX 75032

WITT CAROLINE L
5735 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

COLLICHIO KIMBERLY CULLINS
5801 RANGER DR
ROCKWALL, TX 75032

BIXLER JOY S
5801 YACHT CLUB DR
ROCKWALL, TX 75032

ALVARADO PAUL AND ELSA
5802 CONSTELLATION CIR
ROCKWALL, TX 75032

LAQUEY DIANA
5803 RANGER DR
ROCKWALL, TX 75032

WRIGHTSON DAVID J SR
5803 YACHT CLUB DR
ROCKWALL, TX 75032

WRIGHTSON DAVID J & LUCY S
5803 YACHT CLUB DR
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
5804 YACHT CLUB DR
ROCKWALL, TX 75032

MARQUES LILIAN
5805 RANGER DRIVE
ROCKWALL, TX 75032

MINCKLER JOSEPH M & INGRID E
5805 YACHT CLUB DR
ROCKWALL, TX 75032

INMAN CAROL AND DANNY REVOCABLE TRUST
DANNY DALE INMAN & CAROL ANNETTE CO-
TRUSTEES
5806 CONSTELLATION
ROCKWALL, TX 75032

HUMES JENNIFER
5806 YACHT CLUB DRIVE
ROCKWALL, TX 75032

ARCE JEAN PAUL
5807 RANGER DR
ROCKWALL, TX 75032

CORDILLERA INTERNATIONAL LLC
5807 YACHT CLUB DR
ROCKWALL, TX 75032

RAINS DAVID & BILLIE
5808 CONSTELLATION CIR
ROCKWALL, TX 75032

LANG NICOLE
5808 YACHT CLUB DR
ROCKWALL, TX 75032

CAMPOS RUBEN
5809 RANGER DR
ROCKWALL, TX 75032

ROJAS SAMUEL AND
SANDRA E MORALES LEDESMA
5809 YACHT CLUB DR
ROCKWALL, TX 75032

STROUD SUZETTE AND
LINA NIKOLE SWIZE
581 LOUDER WAY
FATE, TX 75087

MARTIN JEFFREY & SUSAN KENNEDY
5810 CONSTELLATION CIR
ROCKWALL, TX 75032

CATANIA ANTHONY J
5811 YACHT CLUB DR
ROCKWALL, TX 75032

SEALS SCOTT RYAN AND SHANNA LOUISE
5812 CONSTELLATION CIR
ROCKWALL, TX 75032

DEMAGGIO ANNEMIEKE W & ANTHONY J
5813 CONSTELLATION CIR
ROCKWALL, TX 75032

RAND PARTNERS LP
5813 YACHT CLUB DR
ROCKWALL, TX 75032

HYVL BRUCE ALAN AND MIRANDA RENEE
5814 CONSTELLATION CIRCLE
ROCKWALL, TX 75032

OLIVARES JAIRO R AND MARIBEL C
5816 CONSTELLATION CIRCLE
ROCKWALL, TX 75032

DICKSTEIN JUSTIN
5817 CONSTELLATION CIR
ROCKWALL, TX 75032

PERLITZ S THAD & CYNTHIA A
5818 CONSTELLATION CIR
ROCKWALL, TX 75032

PALMER VANDI
5901 RANGER DR
ROCKWALL, TX 75032

BRIGHT ANDREA STEFANIE SCHMAZ AND
CHRISTOPHER COLIN KATO
5901 SCEPTRE DRIVE
ROCKWALL, TX 75032

ADAR DEVELOPMENT LLC
5901 VOLUNTEER PL
ROCKWALL, TX 75032

SLATON CAREN M
5902 YACHT CLUB DR
ROCKWALL, TX 75032

PIERCE D F
5903 RANGER DR
ROCKWALL, TX 75032

FIALA MARZENA AND GEORGE
5903 SCEPTRE DR
ROCKWALL, TX 75032

HENDRICKS LORI L
5903 VOLUNTEER PLACE
ROCKWALL, TX 75032

MANN ERIK
5903 YACHT CLUB DR
ROCKWALL, TX 75032

MOORE JAMES SETH & KIMBERLY N
5904 SCEPTRE DRIVE
ROCKWALL, TX 75032

COGBURN DEWAYNE AND GLENNA
5904 YACHT CLUB DR
ROCKWALL, TX 75032

WILLIS TOMMY LEE
5905 RANGER DR
ROCKWALL, TX 75032

MILLAGER JOSHUA & KRASSY
5905 SCEPTRE DR
ROCKWALL, TX 75032

NEWCOMER JORDAN AND DARA
5905 VOLUNTEER PLACE
ROCKWALL, TX 75032

PHILLIPS KYLONI
5906 SCEPTRE DR
ROCKWALL, TX 75032

JONES BRADLEY
5906 YACHT CLUB DR
ROCKWALL, TX 75032

BRYAN CARRIE WADE
5907 SCEPTRE DR
ROCKWALL, TX 75032

ODELL JEFFERY T & TONYA
5907 VOLUNTEER PL
ROCKWALL, TX 75032

CONFIDENTIAL
5907 YACHT CLUB DR
ROCKWALL, TX 75032

DAHL MICHAEL K & SHEILA
5908 SCEPTRE DRIVE
ROCKWALL, TX 75032

TURNER LESLIE D
5908 YACHT CLUB DR
ROCKWALL, TX 75032

GRIMLAND MIKE W AND
WENDY D SMITH
5909 SCEPTRE DR
ROCKWALL, TX 75032

ULMEN PEGGY SUE
5909 VOLUNTEER PL
ROCKWALL, TX 75032

ULMEN PEGGY SUE
5909 VOLUNTEER PLACE
ROCKWALL, TX 75032

MALAK DANIEL & CYNTHIA
5910 SCEPTRE DR
ROCKWALL, TX 75032

YANCEY JERRY W & YEA ZONG
5911 SCEPTRE DR
ROCKWALL, TX 75032

SRP SUB, LLC
5911 VOLUNTEER PL
ROCKWALL, TX 75032

RABAH MUSTAFA-HASAN AND MILAN
5912 YACHT CLUB DRIVE
ROCKWALL, TX 75032

HALL GLENN D & JUDY K
5913 SCEPTRE DR
ROCKWALL, TX 75032

GRIMES BEVERLY BOYCE
5913 VOLUNTEER PL
ROCKWALL, TX 75032

WYATT RICHARD FRANKLIN
5914 VOLUNTEER PL
ROCKWALL, TX 75032

HUNT ROBERT W & MARY E
5915 SCEPTRE DR
ROCKWALL, TX 75032

UTHLAUT WILLIAM & JACQUELINE C
5915 VOLUNTEER PLACE
ROCKWALL, TX 75032

BRANTLEY RITA JANELLE
5916 VOLUNTEER PLACE
ROCKWALL, TX 75032

OBENSHAIN LOUISE V
5917 VOLUNTEER PLACE
ROCKWALL, TX 75032

ARMSTRONG D
5918 VOLUNTEER PL
ROCKWALL, TX 75032

PRICE JASON ALAN
5919 VOLUNTEER PL
ROCKWALL, TX 75032

FIELDS S A
5920 VOLUNTEER PL
ROCKWALL, TX 75032

RIVERA ENRIQUE JR AND
SAHARA AGUIRRE
5921 VOLUNTEER PL
ROCKWALL, TX 75032

LENOX NANCY H
5922 VOLUNTEER PL
ROCKWALL, TX 75032

HEFFERNAN MARILYN
5924 VOLUNTEER PL
ROCKWALL, TX 75032

SRP SUB, LLC
5925 VOLUNTEER PL
ROCKWALL, TX 75032

CONE YVONNE MARIE REVOCABLE LIVING
TRUST
5926 VOLUNTEER PL
ROCKWALL, TX 75032

STOUT JEFFREY AND SHERI
5927 VOLUNTEER PL
ROCKWALL, TX 75032

ALLEN FRANCIS C
5928 VOLUNTEER PL
ROCKWALL, TX 75032

SCHIRATO LISA
5929 VOLUNTEER PLACE
ROCKWALL, TX 75032

LEATHERWOOD CATHY R
5930 VOLUNTEER PLACE
ROCKWALL, TX 75032

HILE CARLA J
6 INTREPID CIR
ROCKWALL, TX 75032

COLLICHIO STEVEN JAMES
6002 VOLUNTEER PL
ROCKWALL, TX 75032

DALY PETER H & CARLA S BRICE
6003 VOLUNTEER PL
ROCKWALL, TX 75032

KAPILEVICH LEONID & ANNA ZABARSKAYA
KAPILEVICH
LEONID & ANNA KAPILEVICH FAMILY TRUST
6004 FIELDSTONE DR
DALLAS, TX 75252

WOOD TERESA E
6004 VOLUNTEER PL
ROCKWALL, TX 75032

DEAN ANGIE D & ROY M
6005 VOLUNTEER PL
ROCKWALL, TX 75032

FUNDARO ANTHONY J AND MARTINA
6007 VOLUNTEER PL
ROCKWALL, TX 75032

BEAVERS DEBRA LINN
604 COURAGEOUS DRIVE
ROCKWALL, TX 75032

TONOLI KEITH M & ROSEMARY E
604 SEVERIGE CT
ROCKWALL, TX 75032

LAYENDECKER TIMOTHY P & SHAHLA
605 COURAGEOUS DR
ROCKWALL, TX 75032

LANGER RALPH ETUX
606 SEVERIGE CT
ROCKWALL, TX 75032

HILL KENYON B
608 SEVERIGE CT
ROCKWALL, TX 75032

MOVE IN & ON LLC
609 BELHAVEN DR
ALLEN, TX 75013

MARSHALL LISA AND WILLIAM C
609 COURAGEOUS DR
ROCKWALL, TX 75032

HALLBACK ERIK & ANIKO
610 SEVERIGE CT
ROCKWALL, TX 75032

DWYER REX W AND AMY
6101 VOLUNTEER PL
ROCKWALL, TX 75032

MACALIK OTTO JEFFREY
6102 VOLUNTEER PL
ROCKWALL, TX 75032

P V REAL ESTATE HOLDINGS SERIES LLC SERIES D
6103 VOLUNTEER PL
ROCKWALL, TX 75032

BALLARD CHRISTOPHER WOLFGANG &
ANDREA NICOLE WARD-BALLARD
6104 VOLUNTEER PL
ROCKWALL, TX 75032

MENNUCCI SCOTT AND CALLIE T
6105 VOLUNTEER PLACE
ROCKWALL, TX 75032

GOVE CHRISTOPHER AND
SHELBY HOLBROOK
6106 VOLUNTEER PLACE
ROCKWALL, TX 75032

CONFIDENTIAL
6107 VOLUNTEER PL
ROCKWALL, TX 75032

DRAPER CHARLES E & JANICE M
6108 VOLUNTEER PL
ROCKWALL, TX 75032

MARSH ELIZABETH AND JACK
6109 VOLUNTEER PL
ROCKWALL, TX 75032

NEAL RYAN & ALLYSON
6110 VOLUNTEER PLACE
ROCKWALL, TX 75032

BROWN BRYAN K
6111 VOLUNTEER PL
ROCKWALL, TX 75032

MAZUR MELISSA
6112 VOLUNTEER PL
ROCKWALL, TX 75032

JOHNSON EARL & ERA WILLIAMS
612 SEVERIGE COURT
ROCKWALL, TX 75032

CONSOLIDATED SYSTEMS INC
6220 GASTON AVE STE 700
DALLAS, TX 75214

BLASSINGAME KENNETH E ETUX
6227 HIGHGATE LN
DALLAS, TX 75214

ATASHIRANG GHASSEM
623 COURAGEOUS DR
ROCKWALL, TX 75032

HUMES GEORGE D & MARY A
624 COURAGEOUS DR
ROCKWALL, TX 75032

DEVOS FAMILY REVOCABLE LIVING TRUST
DEVOS MARTIN L AND LILY K - TRUSTEES
627 COURAGEOUS DR
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
628 SHADOW WOOD LN
HEATH, TX 75032

JUAREZ JAIME L
629 COURAGEOUS DR
ROCKWALL, TX 75032

CRUTCHFIELD DAVID S & MARY W
630 COURAGEOUS DR
ROCKWALL, TX 75032

MELTON STEVEN C & BEVERLY G
632 COURAGEOUS DR
ROCKWALL, TX 75032

PARKHILL ESTATES LLC
633 COURAGEOUS DR
ROCKWALL, TX 75032

PAWLEY RAYMOND W
634 COURAGEOUS DR
ROCKWALL, TX 75032

LACORTE PASQUALE JR AND LANEY LACORTE
635 COURAGEOUS DRIVE
ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A
639 STAFFORD CIRCLE
ROCKWALL, TX 75087

UTHLAUT WILLIAM S
6540 BROADWAY BLVD
GARLAND, TX 75043

STITES TOM
6707 TULIP LN
DALLAS, TX 75230

CHANDLERS LANDING COMMUNITY ASSOC
7 GREENBELT
ROCKWALL, TX 75032

DEFORD ERA JANE
7 INTREPID CIRCLE
ROCKWALL, TX 75032

STIEGELMAR RICHARD L AND DORA L
7 MAGNOLIA DR
MEXICO BEACH, FL 32456

JONES W GRIFFIN & BARBARA STEWART JONES
701 YACHT CLUB DR
ROCKWALL, TX 75032

RAMSEY TERESA GALE AND
LORI RAMSEY
7047 LAVISTA DRIVE
DALLAS, TX 75214

STAMPS GAYLON JR
7120 SPRING VALLEY RD
DALLAS, TX 75254

VELASCO ALEJANDRO PORTOCARRERO AND
STEPHANIE G ARAMAYO
7205 STONE MEADOW CIR
ROWLETT, TX 75088

GKD PROPERTIES LLC
732 AVALON DRIVE
HEATH, TX 75032

ROCK SOUTH INVESTMENTS LTD. A TEXAS
LIMITED PARTNERSHIP
756 RIDGE HOLLOW RD
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

OYHARCABAL HENRY A
783 17TH AVE
SAN FRANCISCO, CA 94121

E C LIVING LLC
7926 ENCLAVE WAY
DALLAS, TX 75218

LEMON DONALD J AND CAROLYN S
8 INTREPID CIRCLE
ROCKWALL, TX 75032

PROSEK SHERI
803 VILLAGE GREEN DR
ROCKWALL, TX 75087

BROWN NIGEL M.H.O.
8039 WESTOVER DR
DALLAS, TX 75231

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

KING JON JOSHUA
805 SAHARA DRIVE
GREENVILLE, TX 75402

PALMER VANDI
811 EAGLE PASS
HEATH, TX 75032

EZEROSKY BRENNNA KERI
8209 PRAIRIE RYE DR
LAGO VISTA, TX 78645

MCHALE JOHN D JR
825 PROMISE DR
HEATH, TX 75126

STARNES KIMBERLY DAWN
8545 MIDWAY RD
DALLAS, TX 75209

ESPARZA KRISTIN
8565 PLAINFIELD ROAD
LYONS, IL 60534

SRP SUB, LLC
8665 EAST HARTFORD DRIVE SUITE 200
SCOTTSDALE, AZ 85255

WIZMANN ERIC & DALE
8949 PINE NEEDLES CT
RIVERSIDE, CA 92508

SEIBERT PETE
9 INTREPID CIR
ROCKWALL, TX 75032

ESTRERA AARON S ETUX
9011 CLEARHURST DR
DALLAS, TX 75238

KAPRANTZAS ENTERPRISES LLC
904 E DAVIS ST. 400
MESQUITE, TX 75149

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
909 CULLINS RD
ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING
TRUST
963 W YELLOWJACKET LN APT 302
ROCKWALL, TX 75087

ARA MANAGEMENT LLC
9906 LINCOLNSHIRE LN
ROCKWALL, TX 75087

DEVOS FAMILY REVOCABLE LIVING TRUST
DEVOS MARTIN L AND LILY K - TRUSTEES
9929 COPPEDGE LN
DALLAS, TX 75220

ENGEL MARIA
994 GREEN RIVER RD
WAYNESBORO, TN 38485

SELF BILLY & KATIE
C/O PRO SOAP 321 HARBORVIEW DR
ROCKWALL, TX 75032

MCKINSTRY FRITZ AND KATHY LIVING TRUST
P.O. BOX 2195
TELLURIDE, CO 81435

MCMINN KIMBERLY
PMB 239 11654 PLAZA AMERICA DR
RESTON, VA 20190

KELLEY CYNTHIA JANE
IRREVOCABLE FAMILY TRUST
PO BOX 109
ROWLETT, TX 75030

OTTEN STEVEN E
PO BOX 1281
TERRELL, TX 75160

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

N & S PROPERTIES LLC
114 HENRY M CHANDLERDR
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
212 HENRY M CHANDLERDR
ROCKWALL, TX 75032

ROMER ENTERPRISES LLC
111 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

VIERLING DENNIS & LISA
PO BOX 1506
ROCKWALL, TX 75087

MALLARD DAVID S & SHERRY A
PO BOX 156
TERRELL, TX 75160

WRAY ENTERPRISES LLC
PO BOX 189
KOLOA, HI 96756

MACALIK OTTO JEFFREY
PO BOX 2110
ROCKWALL, TX 75087

#23 INVESTMENTS LLC
PO BOX 2292
ROCKWALL, TX 75087

WHITTLE & JOHNSON CUSTOM HOMES INC
PO BOX 369
ROCKWALL, TX 75087

HOWELL STEVE & SHARON
PO BOX 397
CRANDALL, TX 75114

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75032

RUSH MAJOR
PO BOX 760794
GARLAND, TX 75046

DEVILL HOMES INC
PO BOX 764166
DALLAS, TX 75376

ADAR DEVELOPMENT LLC
PO BOX 8141
GREENVILLE, TX 75404

RAND PARTNERS LP
PO BOX B
TERRELL, TX 75160

HATFIELD CLAUDETTE
1 SHADY DALE LN
ROCKWALL, TX 75032

DUFFEY GAIL M
100 MANOR DRIVE
HEATH, TX 75032

SIGNAL RIDGE OWNERS ASSOCIATION
1000 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DWYER REX ETUX AMY
1001 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MEAVE DAVID MICHAEL
1002 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
1003 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BLANKINSHIP TERRI
1004 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MARICH ENTERPRISE CORPORATION
1005 SIGNAL RIDGEPL
ROCKWALL, TX 75032

SEPEHRI SUSAN M
1006 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BROYLES STEPHANIE
1007 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAPMAN PAMELA JEAN
1008 SIGNAL RIDGE
ROCKWALL, TX 75032

MIEROW SHARON A
1009 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HIGGINS MICHAEL R AND ANN S
1010 SIGNAL RIDGEPL
ROCKWALL, TX 75032

FOREMAN JANET
1011 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R
1012 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MOORE GREGORY J
1013 SIGNAL RIDGEPL
ROCKWALL, TX 75032

JOHNSON ASHLEY
1014 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1015 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GRAGG CAROL
1016 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
1017 SIGNAL RIDGEPL
ROCKWALL, TX 75032

TROTTER STEVEN D
1018 SIGNAL RIDGE PL
ROCKWALL, TX 75032

AMHILL FINANCIAL LP
ATTN JIM PETERS
1019 SIGNAL RIDGEPL
ROCKWALL, TX 75032

WAGNER JULIE A
1020 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC
1021 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DAFFRON JAMES R SR & ANDREA
1022 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HAIL CHRIS & MELODY
1023 SIGNAL RIDGEPL
ROCKWALL, TX 75032

VAIL SYDNEY
1024 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCMURTRE DREW
1025 SIGNAL RIDGEPL
ROCKWALL, TX 75032

WHITE RANDY
1026 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCPARTLAND MARY C
1027 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ALVARADO KRESHA
1028 SIGNAL RIDGEPL
ROCKWALL, TX 75032

PRESTON DEWEY D & NANNETTE
1029 SIGNAL RIDGEPL
ROCKWALL, TX 75032

WHITE KATIE AND JAMES ARCHER
103 DAME PATTIE
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

BCL REAL ESTATE LLC
ATTN:TOM LORENZ
103 GROSS RD BLDG A
MESQUITE, TX 75149

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
1030 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
1031 SIGNAL RIDGEPL
ROCKWALL, TX 75032

PERROTTA SHARON
1032 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNSTON SHARRON
1033 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
1034 SIGNAL RIDGEPL
ROCKWALL, TX 75032

FALLS DAVID & TERRI
1035 SIGNAL RIDGEPL
ROCKWALL, TX 75032

PRYOR MICA MALONEY
1036 SIGNAL RIDGE PLACE #1036
ROCKWALL, TX 75032

ELITE CAPITAL LTD
1037 KINGSBRIDGE LANE
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI
1037 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BEVILL HELEN M AND
CHANDRA KARLEN
1038 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
ATTN:TOM LORENZ
1039 SIGNAL RIDGEPL
ROCKWALL, TX 75032

HLUS-HAWKINS TAMI
104 BRENTWOOD
HEATH, TX 75032

ARMSTRONG D
1040 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES
BREZ FAMILY TRUST
1041 SIGNAL RIDGEPL
ROCKWALL, TX 75032

ARMSTRONG D
1042 SIGNAL RIDGEPL
ROCKWALL, TX 75032

NICHOLS JANET
1043 SIGNAL RIDGE PL
ROCKWALL, TX 75032

TRINGALI CAHTERINE
1044 SIGNAL RIDGE PL
ROCKWALL, TX 75032

KILGORE MADISON
1045 SIGNAL RIDGE PL
ROCKWALL, TX 75032

YANGER LISA
1046 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL
1047 SIGNAL RIDGEPL
ROCKWALL, TX 75032

ZAJDL SALLY A
1048 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SAVOY BUILDERS LLC
107 INDEPENDENCE PLACE
ROCKWALL, TX 75032

FULTZ PEGGY J & TOMMY G
1101 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1102 SIGNAL RIDGEPL
ROCKWALL, TX 75032

HARRIS SUSAN
1103 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GARZA OLIVIA L AND FIDENCIO
1104 SIGNAL RIDGE #1104
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

GARDNER DAVID L REVOCABLE LIVING TRUST
DAVID L GARDNER TRUSTEE
1105 51ST ST W
BRADENTON, FL 34209

DAVIS ROBERT NEAL
1105 MELISSA LN
GARLAND, TX 75040

LARAPINTA LLC
1105 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OGLIN THOMAS J & JOYCE L
1106 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PARNES DROR & ALEXANDRA
1107 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC
1108 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1109 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DAVID L GARDNER REVOCABLE LIVING TRUST
1110 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PHILLIPS LOVIE
1110 VAIL COURT
ROCKWALL, TX 75087

HERNANDEZ REBECCA SHANNON BURKETT
1111 SIGNAL RIDGE PL
ROCKWALL, TX 75032

TWOMEY ELIZABETH A
1112 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1113 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OLSEN CATHERINE A
1114 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MATHERNE JUDITH L
1115 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MAKE READY RENOVATIONS LLC
1116 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DAVID L GARDNER REVOCABLE LIVING TRUST
1117 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAKMAKJIAN ZAVEN C
1118 NEWCASTLE DRIVE
ROCKWALL, TX 75032

LEVENTHAL PATRICK J
1118 SIGNAL RIDGE PL
ROCKWALL, TX 75032

METZGER JACQUELINE
1119 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LAMAN FRANCES ANN
1120 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BURKETT BENJAMIN HERRINGTON E
MARY R BURKETT CUSTODIAN
1121 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LAWRENCE ALAN
1122 SIGNAL RIDGE PLACE # 1122
ROCKWALL, TX 75032

AMHILL FINANCIAL, LP
1123 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PAIGE RYAN PROPERTIES LLC
1124 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CROW BILL CHARLES & RUTH ELIZABETH
1125 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GUERRA CHRISTOPHER
1126 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1127 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VAUGHAN CULLY & SARA
1128 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1129 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1130 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MARSHALL GREGORY S & JOANNA
1188 BENTON WOODS DRIVE
ROCKWALL, TX 75032

BOJORQUEZ MANUEL & LYNSEY
120 S MARTIN RD
ANAHEIM, CA 92808

HPA BORROWER 2016-1 LLC
120 S RIVERSIDE PLZ SUITE 2000
CHICAGO, IL 60606

BURKETT MARY REBECCA EASON
1201 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DAVIS ROBERT NEAL
1202 SIGNAL RIDGEPL
ROCKWALL, TX 75032

VANAMBURGH GORDON
1202 WHISPER ROCKDRIVE
ROCKWALL, TX 75032

CLARKE BEVERLY ANN
1203 SIGNAL RIDGE PL #3
ROCKWALL, TX 75032

DAVID L GARDNER REVOCABLE LIVING TRUST
1204 SIGNAL RIDGEPL
ROCKWALL, TX 75032

SELZER DEANNA
1205 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
ATTN:TOM LORENZ
1206 SIGNAL RIDGEPL
ROCKWALL, TX 75032

RRDC LTD
1207 CHAPELDRIVE
ROCKWALL, TX 75032

BURKETT MARY REBECCA
1207 SIGNAL RIDGEPL
ROCKWALL, TX 75032

ADAMS LINDA RUTH
1208 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BUNYASAI PARIYADA
1209 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
1210 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LANE DEBRA
1211 SIGNAL RIDGE
ROCKWALL, TX 75032

RICHMOND JANET M & TOM R
1212 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BROWNE STANLEY H & SANDRA R
1213 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC
1213 STONEWALL TRL
ROCKWALL, TX 75032

DAVID L GARDNER REVOCABLE LIVING TRUST
1214 SIGNAL RIDGEPL
ROCKWALL, TX 75032

HERNANDEZ REBECCA SHANNON BURKETT
1215 SIGNAL RIDGEPL
ROCKWALL, TX 75032

HAMILTON LARRY WAYNE & REBA DIANE
1216 BENTON WOODS DR
ROCKWALL, TX 75032

DALE ROBERT WAYNE
1216 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BURKETT MARY R
CUSTODIAN F/BENJAMIN HERRINGTON E
BURKETT
1217 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
1218 SIGNAL RIDGEPL
ROCKWALL, TX 75032

C SCOTT LEWIS HOMES INC
1218 WHISPER ROCKDRIVE
ROCKWALL, TX 75032

HERNANDEZ REBECCA SHANNON BURKETT
1219 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
1220 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LASAGE TAMMY
1221 SIGNAL RIDGE PL #1221
ROCKWALL, TX 75032

JR HILLTOP HOMES, A GENERAL PARTNERSHIP
1221 WHISPER ROCKDRIVE
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC
1222 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DWYER AMY SUZANNE
1223 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MEYRAT JULIEN BALDRIDGE
1224 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BURKETT BENJAMIN HERRINGTON E
MARY R BURKETT CUSTODIAN
1225 SIGNAL RIDGEPL
ROCKWALL, TX 75032

KAHINDO FURAHA
1225 TOWN CETER DR APT 1947
PFLUGERVILLE, TX 78660

RUSSELL VIRGINIA C
1226 SIGNAL RIDGE PL
ROCKWALL, TX 75032

COGBURN DEWAYNE AND GLENNA
1227 SIGNAL RIDGEPL
ROCKWALL, TX 75032

SHANKS WILLIAM B
1228 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RIGGS MICHAEL R
1229 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BAKER BOB W
1230 SIGNAL RIDGE PL UNIT 1230
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1231 SIGNAL RIDGEPL
ROCKWALL, TX 75032

RYSZARD PROPERTIES LLC
1232 SIGNAL RIDGEPL
ROCKWALL, TX 75032

STROUP JUANITA V LIVING TR
JUANITA V STROUP & JAY T DANIELS TRUSTEES
1233 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DUMAS DARRELL OLEN AND JOHN D CERVI
1234 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1235 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1236 SIGNAL RIDGEPL
ROCKWALL, TX 75032

STEWART BEVERLY
1237 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MILLS DONNA
1238 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

WALTERS PATRICIA ANN AND JEFFERY MICHAEL
LYAN
1239 BENTON WOODSDR
ROCKWALL, TX 75032

TULK SHARON KAYE
1239 SIGNAL RIDGEPL
ROCKWALL, TX 75032

NGUYEN KIM LOAN
1240 SIGNAL RIDGE PL
ROCKWALL, TX 75032

INDRA SUSANNA
1241 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

COCANOUGH T TODD M
1242 SIGNAL RIDGEPL
ROCKWALL, TX 75032

JDM RENTALS I LLC
1243 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BUNYASAI PARIYADA
1244 SIGNAL RIDGEPL
ROCKWALL, TX 75032

STEWART JAMES W AND BEVERLY
125 SHEPHERDS GLEN
ROCKWALL, TX 75032

PATEL VIBHA & SATISH
1250 BENTON WOODS DR
ROCKWALL, TX 75032

HARRISON DOUGLAS C
1257 BENTON WOODS DRIVE
ROCKWALL, TX 75032

NORTH DALLAS ROCKWALL LAND INVESTORS
LLC
1301 SUMMER LEE DR
ROCKWALL, TX 75032

SCHUERENBERG CHARLES AND PENNIE
138 OXBOW CV
HOLLY LAKE RANCH, TX 75765

LANIGAN TIFFANY LEE
143 STEVENSON DR
FATE, TX 75087

HAIL CHRIS & MELODY
145 WESTON CT
ROCKWALL, TX 75032

PARNES DROR & ALEXANDRA
15 KESTREL COURT
ROCKWALL, TX 75032

PRESTON DEWEY D & NANNETTE
1501 S LAKESHORE DR
ROCKWALL, TX 75087

COLLINS FAMILY TRUST
EWELL D COLLINS AND JENNIFER R TRUSTEES
1501 SIGNAL RIDGEPL
ROCKWALL, TX 75032

WEST BRANDON M AND VICTORIA FELICIA
1502 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

LORENZ TOM
BCL REAL ESTATE, LLC
1503 SIGNAL RIDGEPL
ROCKWALL, TX 75032

HARMON H VICTOR
1504 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
ATTN:TOM LORENZ
1505 SIGNAL RIDGEPL
ROCKWALL, TX 75032

WECHES LAND LTD
1505 SUMMER LEE DR
ROCKWALL, TX 75032

PINK DALLAS LLC
1506 SIGNAL RIDGEPL
ROCKWALL, TX 75032

WOOD BARBARA E
1507 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
1508 SIGNAL RIDGEPL
ROCKWALL, TX 75032

COLLINS FAMILY TRUST
EWELL D COLLINS AND JENNIFER R TRUSTEES
1512 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GIFFORD JIM L & PAMELA
1517 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GARDNER DAVID L REVOCABLE LIVING TRUST
DAVID L GARDNER TRUSTEE
1518 SIGNAL RIDGEPL
ROCKWALL, TX 75032

YANGER MORRIS & DORIS
1519 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DECKER SARAH E
1520 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCCLENDON JAMIE
1521 SIGNAL RIDGE PL
ROCKWALL, TX 75032

KUMAR ANVITA
1522 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MORTGAGE EQUITY CONVERSION ASSET TRUST
2011-1
1523 SIGNAL RIDGEPL
ROCKWALL, TX 75032

TABOR MARILYN W
1524 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
1525 SIGNAL RIDGEPL
ROCKWALL, TX 75032

SEVILLA ELIZABETH
1526 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PALERMO JAMES ALBERT
1527 SIGNAL RIDGEPL
ROCKWALL, TX 75032

COLLINS KATHY
1528 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRICE MOLLIE L TRUST
MOLLIE L PRICE TRUSTEE
1529 SIGNAL RIDGEPL
ROCKWALL, TX 75032

AMHILL FINANCIAL LLP
1530 SIGNAL RIDGEPL
ROCKWALL, TX 75032

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
1531 SIGNAL RIDGEPL
ROCKWALL, TX 75032

SRYGLEY JAMES
1532 SIGNAL RIDGEPL
ROCKWALL, TX 75032

YANGER MORRIS & DORIS
1533 SIGNAL RIDGEPL
ROCKWALL, TX 75032

CURRENS WAYNE AND ARLENE
1534 SIGNAL RIDGE PLACE
HEATH, TX 75032

SCHUERENBERG CHARLES AND PENNIE
1535 SIGNAL RIDGEPL
ROCKWALL, TX 75032

AMHILL FINANCIAL L.P.
1536 SIGNAL RIDGEPL
ROCKWALL, TX 75032

RYSZARD PROPERTIES LLC
1536 TIMBER RIDGE DR
ROCKWALL, TX 75032

LANIGAN TIFFANY LEE
1537 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BALDWIN GLENN RAY
1538 SIGNAL RIDGEPL
ROCKWALL, TX 75032

CURRENS WAYNE AND ARLENE
1539 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MCCROSKIE ADAM
1540 SIGNAL RIDGEPL
ROCKWALL, TX 75032

CURRENS WAYNE AND ARLENE
16 LAKEWAY DRIVE
ROCKWALL, TX 75032

CURRENS WAYNE & ARLENE TRUSTEES
BUCHNER/CURRENS FAMILY TRUST
16 LAKEWAY DRIVE
HEATH, TX 75032

MILLER LYNETTE LIFE ESTATE
ALISON LYN FOX
1601 BAYCREST TRAIL
HEATH, TX 75032

RAM KULYA
1619 RAINTREE CIR
SULPHUR SPRINGS, TX 75482

STOVALL PERRY J & BEVERLY A
1796 MYSTIC ST
ROCKWALL, TX 75032

ANSARI MOHAMMAD TARIQ
1799 LA COSTA DR
ROCKWALL, TX 75032

MEDINA ALEJANDRO
1800 DALROCK #100
ROWLETT, TX 75088

TEEL ALVIN AND EUAMDEUANE
1802 MYSTIC ST
ROCKWALL, TX 75032

DWA EQUITIES LLC
1802 SIGNAL RIDGE
ROCKWALL, TX 75032

SAUCEDO ALFRED E AND MARTA C
1803 MYSTIC ST
ROCKWALL, TX 75032

MOSS WILLIAM B & COLLEEN W
1806 BRISTOL LN
ROCKWALL, TX 75032

BOJORQUEZ MANUEL & LYNSEY
1806 MYSTICST
ROCKWALL, TX 75032

DENYSSCHEN REGENALD R & SALLY
1807 LA COSTA DR
ROCKWALL, TX 75032

LORD DEE A
1809 BRISTOL LN
ROCKWALL, TX 75032

SHIELDS KENNETH L AND SANDRA J
1809 MYSTIC STREET
ROCKWALL, TX 75032

HPA BORROWER 2016-1 LLC
1810 MYSTICST
ROCKWALL, TX 75032

COCANOUGH T TODD M
1810 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

HAQ REZA AHMED & SHELINA KARIM
1812 BRISTOLLN
ROCKWALL, TX 75032

RIDDLE LARRY W & NANCY
1813 MYSTIC ST
ROCKWALL, TX 75032

ELVIA INV LLC
1814 MYSTIC ST
ROCKWALL, TX 75032

MARTIN GRAHAM S AND
SAMANTHA M BARTELL
1815 BRISTOL LANE
ROCKWALL, TX 75032

GATSON OSCAR D & PATSY M
1816 BRISTOL LN
ROCKWALL, TX 75032

LASPE FAMILY TRUST
FORREST ROBERT LASPE & NANCY KAY LASPE,
TRUSTEES
1817 LA COSTA DR
ROCKWALL, TX 75032

CHAMBERLAIN TIMOTHY CHIP
1817 MYSTIC STREET
ROCKWALL, TX 75032

FITZGERALD LARRY A
1818 MYSTIC ST
ROCKWALL, TX 75032

FLOYD LISA
1819 BRISTOL LN
ROCKWALL, TX 75032

GONZALES KAYLEIGH AND RICHARD
1820 BRISTOL LANE
ROCKWALL, TX 75032

FUENTES DANIEL & LISA
1821 MYSTIC ST
ROCKWALL, TX 75032

WILSON PAUL R & PATRICIA
1822 MYSTIC ST
ROCKWALL, TX 75032

YANO SHINYA
C/O OPEN HOUSE CO., LTD,
1823 BRISTOLLN
ROCKWALL, TX 75032

PATRICK JANET
WILLIAMS PAUL KIRKLAND
1824 BRISTOL LN
ROCKWALL, TX 75032

FORD SAMUEL M & SUSAN D
1825 LA COSTA DR
ROCKWALL, TX 75032

SWERCINSKY CAPRICE MICHELLE
1827 MYSTICST
ROCKWALL, TX 75032

WHITE LISA
1828 MYSTIC ST
ROCKWALL, TX 75032

TIPPS MIGUEL
1829 BRISTOL LN
ROCKWALL, TX 75032

PHILLIPS DEBRA
1830 BRISTOL LN
ROCKWALL, TX 75032

CERBERUS SFR HOLDINGS III LP
1850 PARKWAY PLACE SUITE 900
MARIETTA, GA 30067

PILARC HORST
1872 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GODFREY GREGORY GRANT
1874 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FIELD JACK B
1875 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LIGHT JEFFREY A & LEIGH ANN
1876 SIGNAL RIDGEPL
ROCKWALL, TX 75032

OUR STUFF LLC
1877 SIGNAL RIDGEPL
ROCKWALL, TX 75032

FAZELIMANESH ARDESHIR & KAREN
1878 SIGNAL RIDGEPL
ROCKWALL, TX 75032

1879 ROCKETEER HOLDINGS LLC
1879 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DENNIS JOHN F & COLETTE
1880 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ARCHULETA JOSEPH
1881 SIGNAL RIDGEPL
ROCKWALL, TX 75032

KOSANOVICH VALERIE
1882 SIGNAL RIDGE PL
ROCKWALL, TX 75032

NAGEL CHARLES I
1883 SIGNAL RIDGEPL
ROCKWALL, TX 75032

URBAN CLARA ELIZABETH
1884 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

ESTATE OF DEEPAK PRASANNA
C/O HARINI AND HULLAHALLI PRASANNA
1885 SIGNAL RIDGEPL
ROCKWALL, TX 75032

POSKA STEPHEN
1886 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RUBLE ROLAND E AND BARBARA R
1887 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

DUFFEY GAIL M
1888 SIGNAL RIDGEPL
ROCKWALL, TX 75032

HLUS-HAWKINS TAMI
1889 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP AND
STANLEY B AND GERALDINE M SCOTT
1890 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MILLER LYNETTE LIFE ESTATE
ALISON LYN FOX
1891 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LIDE SUSAN L
1893 SIGNAL RIDGEPL
ROCKWALL, TX 75032

HUNT CONNIE S
1902 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

ROSS DONNA C
1904 SIGNAL RIDGE PL
ROCKWALL, TX 75032

NIPPER JAMES L JR & JEAN G
1906 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES
BREZ FAMILY TRUST
1908 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GARDNER DAVID L
1912 SIGNAL RIDGEPL
ROCKWALL, TX 75032

ASHER FAMILY TRUST
JAMES THOMAS ASHER & EILEEN THERESA
ASHER CO-TRUSTEES
1914 SIGNAL RIDGEPL
ROCKWALL, TX 75032

THEPCHATRI UBOL
1916 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MCLEAN SANDRA H
1918 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OLSEN CATHERINE A
1920 KINGS PASS
HEATH, TX 75032

GARDNER DAVID L
1920 SIGNAL RIDGEPL
ROCKWALL, TX 75032

WATSON WILLIAM B
1942 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RAM KULYA
1944 SIGNAL RIDGEPL
ROCKWALL, TX 75032

STEWART JAMES W AND BEVERLY
1946 SIGNAL RIDGEPL
ROCKWALL, TX 75032

ESTEP DONNA GAIL
1948 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DJA REAL ESTATE LLC
1950 SIGNAL RIDGEPL
ROCKWALL, TX 75032

HOLZHEI CAROLYN
1952 SIGNAL RIDGE PL BLDG E
ROCKWALL, TX 75032

FAIRCLOTH JERRY AND BARBARA
1954 SIGNAL RIDGE RD
ROCKWALL, TX 75032

STEFANI KIM BERNARD AND PATRICIA HELEN
1956 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

EYRE JENEVIEVE
1982 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BOYD BARBARA
1984 SIGNAL RIDGE PL
ROCKWALL, TX 75032

NAIL PENNY LEE
1986 SIGNAL RIDGE PL
ROCKWALL, TX 75032

AMHILL FINANCIAL L.P.
1988 SIGNAL RIDGEPL
ROCKWALL, TX 75032

STEWART BEVERLY C
1990 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JONES HARVEY E & MARY D
1992 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BYBEE TERRY DON & CATHERINE DENISE
2 SHADYDALE LANE
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
2001 SPRING RD SUITE 700
OAK BROOK, IL 60523

COMMUNITY BANK OF ROCKWALL
201 E KAUFMAN ST
ROCKWALL, TX 75087

PLUTUS21 DEVELOPMENT FUND V LLC
2018 PORTOFINO DR
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
2020 PORTOFINO DR
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
2022 PORTOFINODR
ROCKWALL, TX 75032

GOULD JAMES F AND BRENDA G
2022 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
2024 PORTOFINO DR
ROCKWALL, TX 75032

STEWART BEVERLY JO
2024 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
2026 PORTOFINODR
ROCKWALL, TX 75032

MORTON JONNA
2026 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LARAPINTA LLC
2028 E. BEN WHITE BLVD # 240-5820
AUSTIN, TX 75741

PLUTUS21 DEVELOPMENT FUND V LLC
2028 PORTOFINO DR
ROCKWALL, TX 75032

DWA EQUITIES LLC
2028 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
2030 PORTOFINO DR
ROCKWALL, TX 75032

THE NORMA J CAULEY LIVING TRUST
NORMA JEAN CAULEY
2030 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
2032 PORTOFINO DR
ROCKWALL, TX 75032

SOMNATH YASMIN
2032 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
2034 PORTOFINO DR
ROCKWALL, TX 75032

KAHINDO FURAHA
2034 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
2036 PORTOFINODR
ROCKWALL, TX 75032

CURRENS WAYNE & ARLENE TRUSTEES
BUCHNER/CURRENS FAMILY TRUST
2036 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
2038 PORTOFINO DR
ROCKWALL, TX 75032

BELOTE GARLAND III
2038 SIGNAL RIDGE PLACE #2083
ROCKWALL, TX 75032

LAI GAYLE D
2040 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HOMS SALVADOR
2042 SIGNAL RIDGE PL
ROCKWALL, TX 75032

STEWART BEVERLY
2044 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MOORE GREGORY J
2140 PORTOFINO DR
ROCKWALL, TX 75032

BALDWIN GLENN RAY
216 STANFORD CT
HEATH, TX 75032

1879 ROCKETEER HOLDINGS LLC
2200 ROSS AVE 3600
DALLAS, TX 75201

GORDON NANCY ARAKAKI
2215 ARRINGTON ST
DURHAM, NC 27707

DUMAS DARRELL OLEN AND JOHN D CERVI
222 CRESTBROOK DR
ROCKWALL, TX 75087

SWERCINSKY CAPRICE MICHELLE
240 WILLOWCREST
ROCKWALL, TX 75032

PINK DALLAS LLC
240 WILLOWCREST
ROCKWALL, TX 75032

COGBURN DEWAYNE AND GLENNA
2400 TRINITY COURT
HEATH, TX 75032

ALDI TEXAS LLC
2500 WESTCOURT ROAD
DENTON, TX 76207

ROCKWALL LOT 3 OWNER LLC
255 ALHAMBRA CIRCLE SUITE 760
CORAL GABLES, FL 33134

LAI GAYLE D
2621 NEVADA ST
UNION CITY, CA 94587

RIGGS MICHAEL R
2678 CAPSTONE WAY
ROCKWALL, TX 75032

LE LINH
2701 CEDAR COURT
ROCKWALL, TX 75032

MUMPHREY SCHEDRICK RANDTEZ AND
MELODY HOSKINS
2702 FOXCHASE LANE
ROCKWALL, TX 75032

ESTES JACK D & DELORES E
2703 CEDAR CT
ROCKWALL, TX 75032

HOUSTON RICHARD AND
LINDSAY WEATHERREAD
2704 FOXCHASE LANE
ROCKWALL, TX 75032

BOSWELL ROBERT L & AMY S
2705 CEDAR CT
ROCKWALL, TX 75032

NIXON KENNETH G & MARY H
2707 CEDAR CT
ROCKWALL, TX 75032

ALBRECHT LAWRENCE & LINDA
2709 CEDAR CT
ROCKWALL, TX 75032

MANELSKI MEGHAN
2711 CEDAR CT
ROCKWALL, TX 75032

ARMSTRONG MARY B
2713 CEDAR CT
ROCKWALL, TX 75032

KRUSZ WILLIAM C & EVELYN KAY
2715 CEDAR CT
ROCKWALL, TX 75032

CARPENTER CHARLES KENNETH JR AND LIDA L
2752 E FM 552
ROCKWALL, TX 75087

BURKETT BENJAMIN HERRINGTON E
MARY R BURKETT CUSTODIAN
277 TERRY LANE
HEATH, TX 75032

HEINDEL MATTHEW A & HEATHER
2881 NEWPORT PLACE
ROCKWALL, TX 75032

QUINTERO BERTHA L
2885 NEWPORT DR
ROCKWALL, TX 75032

PARAMOUNT LAURELS LLC
2889 NEWPORTDR
ROCKWALL, TX 75032

GWIE KIONG OEN & RONY THERESIA
2901 NEWPORT DR
ROCKWALL, TX 75032

DEVYANI SEEMA T
2905 NEWPORT DRIVE
ROCKWALL, TX 75032

SMET KEITH & LISA
2911 NEWPORTDR
ROCKWALL, TX 75032

KING LINDA D REV LIVING TR
LINDA D KING TRUSTEE
2912 LAGO VISTALN
ROCKWALL, TX 75032

TUCKER MEGAN LEE AND TY NICHOLAS
2917 NEWPORT DR
ROCKWALL, TX 75032

STROUP JUANITA V LIVING TR
JUANITA V STROUP & JAY T DANIELS TRUSTEES
2918 WOODLAND HILLS DR
GRAPEVINE, TX 76051

BAILEY RONALD C ET UX
2919 COUNTRY PLACE CIR
CARROLLTON, TX 75006

WAFFER DANNY KAY
2920 LAGO VISTA LANE
ROCKWALL, TX 75032

HOWELL BRIAN K
2923 NEWPORT DR
ROCKWALL, TX 75032

CRIBARI JAMES & DEBBIE
2928 NEWPORT DRIVE
ROCKWALL, TX 75032

AMERICAN RESIDENTIAL LEASING COMPANY LLC
2929 NEWPORTDR
ROCKWALL, TX 75032

SMITH JAY E & KRISTY A
2932 LAGO VISTA LN
ROCKWALL, TX 75032

MONSERATE NIDA S & MACARIO
2934 NEWPORT DR
ROCKWALL, TX 75032

NORTON MONICA JEAN
2935 NEWPORT DR
ROCKWALL, TX 75032

JEON YONG J
2941 NEWPORT DR
ROCKWALL, TX 75032

GOODE FAMILY TRUST A
2944 LAGO VISTALN
ROCKWALL, TX 75032

KIBBY ROAD LLC
2944 NEWPORTDR
ROCKWALL, TX 75032

CHALLENGER PATRICK B AND
TARA L JOHNSON
2947 NEWPORT DR
ROCKWALL, TX 75032

PATEL HIMANSHU S AND NIKITA H
2952 OAK DR
ROCKWALL, TX 75032

ZIELKE HOWARD C & BRENDA T
2953 NEWPORT DR
ROCKWALL, TX 75032

CONFIDENTIAL
2954 OAK DR
ROCKWALL, TX 75032

WHISMAN RAYMOND V & KATHY M
2956 LAGO VISTA LANE
ROCKWALL, TX 75032

BRELAND JUNIOR L & SERENIAH K
2956 OAK DR
ROCKWALL, TX 75032

JORDAN WILLIAM
2958 OAK DR
ROCKWALL, TX 75032

FRIZZELL BARBARA
2960 OAK DRIVE
ROCKWALL, TX 75032

KEVIN T MONK AND LISA M MONK REVOCABLE
LIVING TRUST
KEVIN T AND LISA M MONK TRUSTEES
2962 OAK DR
ROCKWALL, TX 75032

SERCY NORMAN W & MARSHA M
2963 LAGO VISTA LN
ROCKWALL, TX 75032

PREWITT CARROLL O JR AND MARY E
2970 OAK DR
ROCKWALL, TX 75032

VARNER GLENN MERRILL & CARRIE G
2972 OAK DR
ROCKWALL, TX 75032

BOWERMAN FAMILY TRUST
JACK E AND HELEN R BOWERMAN TRUSTEES
2974 OAK DR
ROCKWALL, TX 75032

RAMOS EMILIO & MARIA C
2976 OAK DR
ROCKWALL, TX 75032

BEVILL HELEN M AND
CHANDRA KARLEN
2977 OAK DR
ROCKWALL, TX 75032

FOSTER JOHN CHRISTOPHER & DONNA
2978 OAK DR
ROCKWALL, TX 75032

MCMURTRE DREW
3000 TWIN LAKES DR
PROSPER, TX 75078

EMERIROCK LLC
DBA EMERITUS SENIOR LIVING
3020 RIDGERD
ROCKWALL, TX 75032

VANHORN WILLIAM & PENNI
JOSEPH HENRY & KRISTINE ELIZABETH ZYLKA
3021 RIDGE RD SUITE A-66
ROCKWALL, TX 75032

HERNANDEZ REBECCA SHANNON BURKETT
3048 CANDLEWICK LANE
FARMERS BRANCH, TX 75234

COMMUNITY BANK OF ROCKWALL
3060 RIDGERD
ROCKWALL, TX 75032

ARCHULETA JOSEPH
3074 AMERICAN EAGLE BLVD
WOODBIDGE, VA 22191

ALDI TEXAS LLC
3085 RIDGERD
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

GILLEAN AND POTTER REAL ESTATE LLC
3090 RIDGE RD
ROCKWALL, TX 75032

CHAKMAKJIAN ZAVEN C
3100 RIDGERD
ROCKWALL, TX 75032

VEAL JEREMY
3101 BOURBON ST
ROCKWALL, TX 75032

GARCIA YAHAIRA
3103 BOURBON STREET CIR
ROCKWALL, TX 75032

BELL WILLIAM B AND KRISTA D
3104 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

WHITLOCK ARTHUR C
3105 BOURBON STREET CIR
ROCKWALL, TX 75032

BOSWELL ROGER WARD AND PAMELA
3107 BOURBON ST CIR
ROCKWALL, TX 75032

PEADEN SPURGEON THOMAS AND WANDA
JOYCE
3108 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

SORRELL PATRICIA A AND
MARK ANDREWS
3109 BOURBON STREET CIR
ROCKWALL, TX 75032

LONG SHAWN
3110 BOURBON STREET CIR
ROCKWALL, TX 75032

KELBERT ERIC R
3111 BOURBON ST CIR
ROCKWALL, TX 75032

PAUL AMANDA K & SEAN K
3112 BOURBON ST CIR
ROCKWALL, TX 75032

BICKLEY AMANDA
3113 BOURBON ST CIR
ROCKWALL, TX 75032

RIBAIL RICHARD CHARLES
3114 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

COLEMAN BILLY C & VICKIE D
3115 BOURBON STREET CIR
ROCKWALL, TX 75032

RIDGE ROAD REAL ESTATE LLC
3115 RIDGERD
ROCKWALL, TX 75032

LANCE A HOLLAND FAMILY TRUST
SAUNDRA G HOLLAND TRUSTEE
3125 RIDGERD
ROCKWALL, TX 75032

MORTON JONNA
313 ROCKBROOK DR
ROCKWALL, TX 75087

NAGEL CHARLES I
314 PINECREST DRIVE
GERMANTOWN HILLS, IL 61548

GARZA ERIC ISAAC AND KARINA RUBIO
3140 BOURBON STREET CIR
ROCKWALL, TX 75032

CROWELL SHANNON P
3142 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

GIBBONS DAVID AND
JACQUELINE CORDOVA
3144 BOURBON STREET CIR
ROCKWALL, TX 75032

SALITURE CODY AND BRITTANY
3146 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

COBB CAROL
3148 BOURBON STREET CIR
ROCKWALL, TX 75032

BLEDSON SANDRA M
3150 BOURBON STREET CIR
ROCKWALL, TX 75032

CERBERUS SFR HOLDINGS III LP
3152 BOURBON ST CIR
ROCKWALL, TX 75032

STOKES RICHARD & JULIE
3185 S RIDGE RD
ROCKWALL, TX 75032

LEWELLYN DARYL G & SARAH
3187 RIDGE RD
ROCKWALL, TX 75032

ST CLAIR PAUL M & GENEVIEVE J
3201 RIDGE RD
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN
C/O MRS AMY JENSEN
331 MOCKINGBIRD LN
AUBURN, AL 36830

FIRST CHRISTIAN CHURCH
3375 RIDGE ROAD
ROCKWALL, TX 75032

BUNYASAI PARIYADA
3416 CAMPUS AVE
CLAREMONT, CA 91711

BUNYASAI PARIYADA
3416 CAMPUS AVE
CLAREMONT, CA 91711

GOULD JAMES F AND BRENDA G
353 MARIAH BAY DR.
HEATH, TX 75032

SMET KEITH & LISA
3810 SYCAMORE LANE
ROCKWALL, TX 75032

ASHER FAMILY TRUST
JAMES THOMAS ASHER & EILEEN THERESA
ASHER CO-TRUSTEES
3824 CEDAR SPRINGS RD. #801-3056
DALLAS, TX 75219

NAIDOO PAUL
3904 ASPEN DR #3123
ROWLETT, TX 75088

KELBERT ERIC R
3939 E ALLIN ST UNIT 322
LONG BEACH, CA 90803

TULK SHARON KAYE
408 COLUMBIA DR
ROCKWALL, TX 75032

PALERMO JAMES ALBERT
411 DRIFTWOOD ST
ROCKWALL, TX 75087

DJA REAL ESTATE LLC
42 MARY STREET
MOUNT VERNON, TX 75457

YANGER MORRIS & DORIS
427 COLUMBIA DR
ROCKWALL, TX 75032

JR HILLTOP HOMES, A GENERAL PARTNERSHIP
429 COLUMBIA DRIVE
ROCKWALL, TX 75032

ESTATE OF DEEPAK PRASANNA
C/O HARINI AND HULLAHALLI PRASANNA
4440 SOUTH MEADOW COURT
ELLCOTT CITY, MD 21042

SOMNATH YASMIN
4444 SKY HARBOR WAY APT 2202
FT WORTH, TX 76155

LIGHT JEFFREY A & LEIGH ANN
4671 GREENBRIAR CT
ROCKWALL, TX 75032

KUMAR ANVITA
4701 COPPER MOUNTAIN LANE
RICHARDSON, TX 75082

BICKLEY AMANDA
4702 STEEPLE CHASE LN
ROCKWALL, TX 75032

VANHORN WILLIAM & PENNI
JOSEPH HENRY & KRISTINE ELIZABETH ZYLKA
4725 BENTON CT
ROCKWALL, TX 75032

CUNY CHRISTOPHER AND JANICE
4730 PIN OAKS CIR
ROCKWALL, TX 75032

GRAND-LIENARD ROBERT J III AND DIANA L
4741 BENTON CT
ROCKWALL, TX 75032

BAILEY KENNETH AND MEREDITH
4748 PIN OAKS CIR
ROCKWALL, TX 75032

SLABAS KAREN AND JEFFREY
50 SHADY DALE LN
ROCKWALL, TX 75032

SLABAS KAREN AND JEFFREY
50 SHADY DALE LN
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP AND
STANLEY B AND GERALDINE M SCOTT
502 TERRY LN
HEATH, TX 75032

YANO SHINYA
C/O OPEN HOUSE CO., LTD,
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

SELZER DEANNA
510 TURTLE COVE BLVD STE 109
ROCKWALL, TX 75087

KING LINDA D REV LIVING TR
LINDA D KING TRUSTEE
519 E INTERSTATE 30
ROCKWALL, TX 75087

HARMON H VICTOR
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

SLABAS KAREN AND JEFFREY
52 SHADY DALELN
ROCKWALL, TX 75032

FAZELIMANESH ARDESHIR & KAREN
520 TERRY LANE
HEATH, TX 75032

GOODE FAMILY TRUST A
5231 FM 3227
CANTON, TX 75103

BEST JAMES AND KIMBERLY
54 SHADY DALELN
ROCKWALL, TX 75032

VANAMBURGH GORDON
540 LOMA VISTA
HEATH, TX 75032

KIBBY ROAD LLC
541 W MAIN ST
MERCED, CA 95340

LOGAN PAULINE K
554 VZ COUNTY ROAD 2139
CANTON, TX 75103

DWYER REX ETUX AMY
6101 VOLUNTEER PL
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
6116 NORTH CENTRAL EXPRESSWAY SUITE 700
DALLAS, TX 75206

THEPCHATRI UBOL
614 SANTA FE DR
DENVER CITY, TX 79323

MCCROSKIE ADAM
620 TRIPP TRL
ROYSE CITY, TX 75189

RIDGE ROAD REAL ESTATE LLC
6245 RYEWORTH DR
FRISCO, TX 75035

GIFFORD JIM L & PAMELA
636 CALVIN DR
HEATH, TX 75032

ROCKWALL PROPERTY SOLUTIONS
643 TURTLE COVE BLVD
ROCKWALL, TX 75087

HYATT FAMILY TRUST
JAMES T HYATT- TRUSTEE
6525 NORTH FLY IN LAKE RD
ATHENS, TX 75751

EMERIROCK LLC
DBA EMERITUS SENIOR LIVING
6737 W WASHINGTON ST STE 2300
MILWAUKEE, WI 53214

ALVARADO KRESHA
710 BRAZOS WAY
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

BELTRANI MICHAEL
8 EXETER LN
HAMBURG, NJ 7419

GORDON NANCY ARAKAKI
801 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LONON DEBORAH J
802 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

FAZELIMANESH KAREN & ARDESHIR
803 SIGNAL RIDGEPL
ROCKWALL, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL
804 EAGLE PASS
HEATH, TX 75032

AMHILL FINANCIAL LP
ATTN JIM PETERS
804 SIGNAL RIDGEPL
ROCKWALL, TX 75032

PATTON ROXANNE LOUISE & KURTIS LEE
805 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

WALKER RAYMOND B & PHYLLIS F REVOCABLE
TRUST
RAYMOND B & PHYLLIS F WALKER TRUSTEES
806 SIGNAL RIDGE PLACE UNIT 806
ROCKWALL, TX 75032

POPP LEILA
807 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PETERSON STEVEN R & DONNA R
808 SIGNAL RIDGE
ROCKWALL, TX 75032

HART DARIN AND RANDI
809 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RENNER BEVERLY
810 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MEDINA ALEJANDRO
811 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LOGAN PAULINE K
812 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DUNN FAMILY LOVING TRUST
ALMA JEAN DUNN- TRUSTEE
813 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BRASHEARS KARI
814 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ANDREW JONATHON
815 SIGNAL RIDGE
ROCKWALL, TX 75032

HYATT FAMILY TRUST
JAMES T HYATT- TRUSTEE
816 SIGNAL RIDGEPL
ROCKWALL, TX 75032

CROW BILL CHARLES & RUTH ELIZABETH
828 CR 1035
COOPER, TX 75432

BEST JAMES AND KIMBERLY
870 W INTERSTATE SUITE 100
GARLAND, TX 75043

MORTGAGE EQUITY CONVERSION ASSET TRUST
2011-1
8950 CYPRESS WATERS BLVD
COPPELL, TX 75019

RRDC LTD
900 HEATHLAND CROSSING
HEATH, TX 75032

NAIDOO PAUL
901 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LOYCE HOPKINS 2017 REVOCABLE TRUST
LOYCE ANN HOPKINS TRUSTEE
902 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI
903 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
904 SIGNAL RIDGEPL
ROCKWALL, TX 75032

CHAPMAN LAURA J AND RONALD L
905 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ELITE CAPITAL LTD
906 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GARDNER DAVID L
907 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GAIN SHARON
908 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LANCE A HOLLAND FAMILY TRUST
SAUNDRA G HOLLAND TRUSTEE
909 CULLINS ROAD
ROCKWALL, TX 75032

STEWART BEVERLY & JAMIE
909 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BELTRANI MICHAEL
910 SIGNAL RIDGEPL
ROCKWALL, TX 75032

SHEPHERD ADDIE
911 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

WHITE DEBORAH
912 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DISMUKE JAMIE M
913 SIGNAL RIDGE PLACE #913
ROCKWALL, TX 75032

CARTER DAVID
914 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

COLLINS FAMILY TRUST
EWELL D COLLINS AND JENNIFER R TRUSTEES
915 SIGNAL RIDGEPL
ROCKWALL, TX 75032

CARPENTER CHARLES KENNETH JR AND LIDA L
916 SIGNAL RIDGEPL
ROCKWALL, TX 75032

DEZEE CAROLE H
917 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DASILVA JOHN M
918 SIGNAL RIDGEPL
ROCKWALL, TX 75032

ROCKWALL PROPERTY SOLUTIONS
919 SIGNAL RIDGEPL
ROCKWALL, TX 75032

INZILLO FRANCA
920 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN
C/O MRS AMY JENSEN
921 SIGNAL RIDGEPL
ROCKWALL, TX 75032

MURRAY NORMA C
922 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DWA EQUITIES LLC
923 SIGNAL RIDGEPL
ROCKWALL, TX 75032

BAILEY RONALD C ET UX
924 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GREEN MAUREEN
925 SIGNAL RIDGEPL
ROCKWALL, TX 75032

PHILLIPS LOVIE
926 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
927 SIGNAL RIDGEPL
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
928 SIGNAL RIDGEPL
ROCKWALL, TX 75032

LIDE SUSAN L
933 GANNON HTS
ROCKWALL, TX 75087

GREEN MAUREEN
945 BREEZY HILL LANE
ROCKWALL, TX 75087

HARRIS SUSAN
9660 ALPHA LN
QUINLAN, TX 75474

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO, SUITE 300
CALABASAS, CA 91302

PRICE MOLLIE L TRUST
MOLLIE L PRICE TRUSTEE
C/O CHARLES LINEVILLE P O BOX 743612
DALLAS, TX 75374

OUR STUFF LLC
M/R
, TX

AMHILL FINANCIAL, LP
P. O. BOX 1179
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLIE, TX 75098

RICHMOND JANET M & TOM R
PO BOX 1145
ROCKWALL, TX 75087

AMHILL FINANCIAL LP
ATTN JIM PETERS
PO BOX 1179
ROCKWALL, TX 75087

SRYGLEY JAMES
PO BOX 1928
ROCKWALL, TX 75087

JDM RENTALS I LLC
PO BOX 2110
ROCKWALL, TX 75087

RENNER BEVERLY
PO BOX 2121
QUINLAN, TX 75474

MARICH ENTERPRISE CORPORATION
PO BOX 2319
ROCKWALL, TX 75087

DASILVA JOHN M
PO BOX 2601
ROWLETT, TX 75030

HAQ REZA AHMED & SHELINE KARIM
PO BOX 6952
HUNTSVILLE, AL 35813

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
PO BOX 743612
DALLAS, TX 75374

PARAMOUNT LAURELS LLC
PO BOX 786
WYLIE, TX 75098

STOKES RICHARD & JULIE
PO BOX 8
ROCKWALL, TX 75087

WALTERS PATRICIA ANN AND JEFFERY MICHAEL
LYAN
PO BOX 833073
RICHARDSON, TX 75083

HIGGINS MICHAEL R AND ANN S
PO BOX 850225
MESQUITE, TX 75185

MONTONEY LAUREN D
5455 RANGER DR
ROCKWALL, TX 75032

VANDIGRIFF VICTORIA LYNN
5457 RANGER DR
ROCKWALL, TX 75032

MARTIN LAKESHORE PROPERTIES LLC
546 YACHT CLUB DR
ROCKWALL, TX 75032

SOLOMON MARION C
5461 RANGER DR
ROCKWALL, TX 75032

GIBSON JEANETTE L
548 YACHT CLUB DR
ROCKWALL, TX 75032

BYRD MANUEL NICKLOUS & EVA RHINE
550 YACHT CLUB
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-026: Zoning Change amending Planned Development District 8

Hold a public hearing to discuss and consider a request by Troy Lewis of Newstream Capital Partners for the approval of a Zoning Change to amend Planned Development District 8 (PD-8) [Ordinance No. 92-39] for the purpose of allowing townhomes on a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 92-39] for Zero Lot Line (ZL-5) District land uses, generally located south on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 13, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2021-026: Zoning Change amending Planned Development District 8

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2021-026: Zoning Change amending Planned Development District 8

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

not every piece of LAND needs to be developed. Rockwall is crowded as it is.

Bought my Condo because of the view for a high dollar amount. I'm sure the townhomes will make a distraction. Not being the closest to the water if this goes thru will

Name:

lower the "value" of my home. What's better

Address:

For the community is the voices of those who own!

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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If this goes thru, what about being compensated for loosing our view?

CITY OF ROCKWALL • PLANNING AND ZONING DEPARTMENT • 385 S. GOLIAD STREET • ROCKWALL, TEXAS 75087 • P: (972) 771-7745 • E: PLANNING@ROCKWALL.COM

address: ↓

Case No. Z2021-026: Zoning Change amending Planned Development District 8

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

We believe this to be disadvantageous to property owners and the value of their property

Name:

John and Frieda Langston

Address:

101 Mayflower Ct.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2021-026: Zoning Change amending Planned Development District 8

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Roads are too crowded now - I would like single family homes pleasee.

Name:

Kenyon Walter

Address:

408 Severign Court, 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2021-026: Zoning Change amending Planned Development District 8

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

traffic in the area is already a major problem
impeded view for existing homes

Name:

Madeline Geary and Rachel DeBender

Address:

512 Columbia Dr. Rockwall, TX 75082

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2021-026: Zoning Change amending Planned Development District 8

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

WOULD INCREASE DENSITY.

Name: ROBERT G. WILLIAMS

Address: 281 VICTORY LN. ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2021-026: Zoning Change amending Planned Development District 8

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
 I am opposed to the request for the reasons listed below.

Too much congestion on the roads already.
Rockwall should concentrate on traffic flow instead of
seeing how many people they can cram into a small
space. There are too many realtors running Rockwall's

Name: Susan Hardi - Gallant Enterprise

Address: 325 Columbia, Rockwall, TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2021-026: Zoning Change amending Planned Development District 8

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

INFRASTRUCTURE GROWTH IS SAOBY LAGGING FAR BEHIND
OUR POPULATION GROWTH. YOU CAN WALK A MILE DOWN
RIDGE RD QUICKER THAN DRIVING IT. FIX THE PROBLEM
FIRST RATHER THAN MAKING IT WORSE.

Name:

WAYNE CURRENS

Address:

16 LAKEWAY DR 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2021-026: Zoning Change amending Planned Development District 8

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Comments

Name: G.D. PERRY

Address: 299 VICTORY LANE, ROCKWALL, TX 75082

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2021-026: Zoning Change amending Planned Development District 8

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name:

JAMES SCHOENEMAN

Address:

5554 CANADA COURT, ROCKWALL

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2021-026: Zoning Change amending Planned Development District 8

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
 I am opposed to the request for the reasons listed below.

Name: PRIMROSE SCHOOL OF ROCKWALL

Address: 3115 RIDGE ROAD, ROCKWALL, TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2021-026: Zoning Change amending Planned Development District 8

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Handwritten signature]

Name: *Shane Stenberg & Tracy English*
 Address: *426 C Yacht Club Dr., Rockwall, TX 75032*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Miller, Ryan

From: Allie Kattner <alliekattner8@gmail.com>
Sent: Sunday, July 4, 2021 3:04 PM
To: Planning; Miller, Ryan
Subject: Case No. Z2021-026

Case No. Z2021-026 -

Zoning change amending planned development district 8

I am **OPPOSED** to the request for the reasons stated below:

1. Too much construction now is already in process in this dense area.
2. More parkland is needed not more housing. Provide parkland to the families currently living here
3. The reason I moved to Rockwall and pay the high taxes was because of the lake and quality of life which The city is ruining by constantly building huge office buildings apartments and now townhomes to totally obstruct the lake views. The beautiful landscape around the harbor area is disappearing at a rapid pace.
4. I moved here to get away from over populated urban cities that have tremendous traffic and car congestion issues. Rockwall street and infrastructure cannot handle more traffic due to the lack of infrastructure to avoid car congestion. One only needs to look at exit Village/Horizon Rd exit in and off I30 it's a mess! Sometimes it takes me 45-to an hour to get and have to wait for 6 to 7 red lights to even get across the bridge it's terrible. Building more home in the area would only increase these problems and expanding roads and street only promises years of endless road construction and detours.
5. Not every square ft of available land should be given to developers keep Rockwall Rockwall I love this city it's beauty and small suburban living is the reason I moved here.

D. Lane
1211 Signal Ridge

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Miller, Ryan

From: Scott Phillips <nonrevs@yahoo.com>
Sent: Friday, July 2, 2021 4:56 PM
To: Miller, Ryan
Subject: Z2021-026

Hi Ryan,

I am opposed to this zoning request.

Too many multi family already approved in Rockwall in my opinion. They are nice when new, but don't stay nice. Look at the older townhouses in Lakeside Village as an example.

Traffic is already terrible in Rockwall and more multi family will only make it worse.

Scott Phillips
214-497-6962

Sent from my iPhone

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Miller, Ryan

From: Melissa Short <mrshort@live.com>
Sent: Thursday, July 1, 2021 12:59 PM
To: Planning
Subject: Case No. z2021-026 zoning change amending planned development district 8

I am in favor of the request because of the following:
Addresses housing shortage
Increases tax base

Respectfully,

Cory & Melissa Short
105 Independence Pl.
Rockwall, TX 75032
972-529-0129

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Miller, Ryan

From: Julie Jones <Julie.Jones@bankencore.com>
Sent: Wednesday, July 7, 2021 2:17 PM
To: Planning
Subject: Z2021-026

405 yacht club dr
Rockwall, tx 75032

Ok with zoning request.

Julie Fuller Jones
Executive Vice President
Director of SBA Lending
Cell: (214) 882-7646 | Toll Free: (844) 394-2265
Julie.Jones@bankencore.com



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Miller, Ryan

From: Neal Cooper <neal.cooper@live.com>
Sent: Monday, July 5, 2021 5:22 PM
To: Planning
Subject: Case Z2021-026

Importance: High

Neal B. Cooper
5624 Cambria Dr
Rockwall, Tx 75032

Reference subject case number. I am in favor of the zoning change request for PD-8.
Rockwall is a very fast growing area and such zoning requests will increase.
Neal Cooper

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June 18, 2021

Mr. Ryan Miller
City of Rockwall Director of Planning
385 Goliad St
Rockwall, TX 75087

RE: Letter of Intent to amend the zoning within PD-08, Ordinance 92-39, a Single Family Planned Development near the entrance to Chandler's Landing Marina

Dear Mr. Miller,

This is a summary outlining the proposed changes to PD-08 for the approximate 6.88 acre tract of land on Henry M. Chandler Parkway. We have been evaluating this site for over 18 months now, with an obvious delay in 2020 due to the Pandemic. Recently we furthered our discussions with the Chandler's Landing HOA Environmental Committee and Board Members in hopes to work with them on our proposal. We've received great feedback so far, and we have more meetings scheduled in the coming weeks so that we can continue to share our vision for the site development with our neighbors and their leadership. One of the biggest challenges to this site is management of the topography as it relates to civil engineering and meeting the height requirements of each lot as set forth in the current PD-08, Ordinance 92-39 Section D. We believe we are on a path to meet these challenges, and as such, are now prepared to make this submittal requesting a zoning change. We desire to have a project that will be a welcomed addition to the City of Rockwall and the Chandler's Landing Lakeside Atmosphere.

A summary of the proposal is as follows:

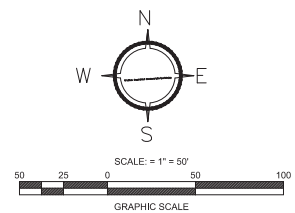
- The number of lots remains at 36
- The open space on the property increases from 0% to over 20%
- It will have a divided, gated main entry with a median cut for a left turn lane
- There will be a gated exit at the secondary access point, which will also be used as a Fire Emergency entrance as needed
- The streets will be private and maintained by the HOA
- This Subdivision will be governed by the Umbrella HOA of Chandler's Landing

We believe this proposed plan will better conform to the Comprehensive Plan for the City of Rockwall and we look forward to future discussions with City Staff, P&Z, and City Council in the coming months. Please contact me with any comments or questions.

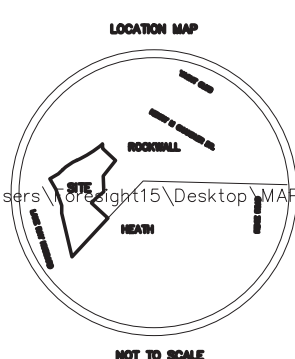
Regards,



Troy Lewis
Newstream Capital Partners

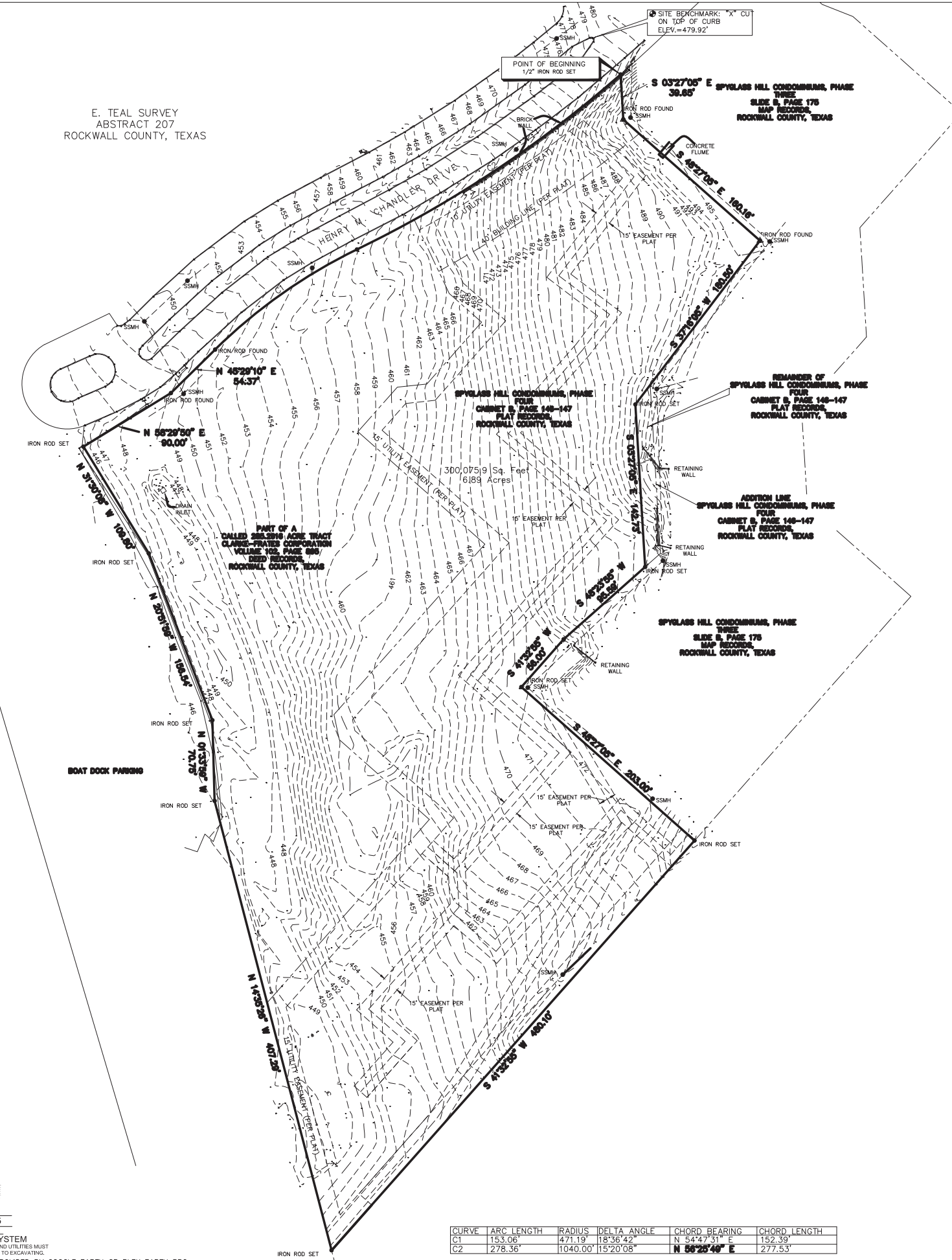


E. TEAL SURVEY
ABSTRACT 207
ROCKWALL COUNTY, TEXAS



C:\Users\k0158115\Desktop\MAP.jpg

LAKE RAY HUBBARD
ROCKWALL COUNTY, TEXAS



- LEGEND**
- ▲ "CM" = CONTROLLING MONUMENT
 - IRF = IRON ROD FOUND
 - RS = 5/8" IRON ROD SET
 - "SCL" = "SCL"
 - WM = WATER METER
 - WV = WATER VALVE
 - FH = FIRE HYDRANT
 - EP = ELECTRIC PEDESTAL
 - PP = POWER POLE
 - GM = GAS METER
 - AC = AIR CONDITIONER
 - E = OVERHEAD ELECTRIC
 - X = CHAIN LINK FENCE
 - W = WIRE FENCE
 - M = WOOD FENCE
 - M = METAL FENCE
 - D.R.R.C.T. = DEED RECORDS ROCKWALL COUNTY, TEXAS
 - P.R.R.C.T. = PLAT RECORDS ROCKWALL COUNTY, TEXAS

1-800-245-4545
WWW.TEXASONECALL.COM

TEXAS ONE CALL SYSTEM
CONSTRUCTION NOTE: UNDER GROUND UTILITIES MUST BE VERIFIED BY CONTRACTOR PRIOR TO EXCAVATING.

AERIAL IMAGERY PROVIDED BY GOOGLE EARTH OR PLEX EARTH PRO.
BISON CREEK LAND SERVICES, LLC IS A LICENSED USER OF GOOGLE EARTH.
BISON CREEK LAND SERVICES, LLC IS A LICENSED USER OF PLEX EARTH PRO.

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	153.06'	471.19'	18°36'42"	N 54°47'31" E	152.39'
C2	278.36'	1040.00'	15°20'08"	N 56°25'49" E	277.53'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	471.19'	153.06'	152.39'	N 54°47'31" E	18°36'42"
C2	1040.00'	278.36'	277.53'	N 56°25'49" E	15°20'08"

● SITE BENCHMARK: "X" CUT ON TOP OF CURB ELEV.=479.92' (AS SHOWN WDS GNSS NETWORK)

METERS AND BOUNDS
STATE OF TEXAS
COUNTY OF ROCKWALL

All that certain lot, tract or parcel of land situated in the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas and being a part of that 285.2916 acre tract as conveyed to Clarke-Frutes Corporation as recorded in Volume 102, Page 885, Deed Records, Rockwall County, Texas, and being part of Spyglass Hill Condominiums Phase Four as recorded in Cabinet B, Slides 146-147 of the Plat Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a point on the South line of Henry M. Chandler Drive, said point being the Northwest corner of Spyglass Hill Condominiums, Phase Three, and addition to the City of Rockwall, Texas, as recorded in Slide B, Page 175, Map Records, Rockwall County, Texas, and being more particularly described as follows:

- THENCE** Along the Westerly line of said Spyglass Hill Condominiums, the following: South 03 degree 27 minutes 05 seconds East, a distance of 38.85 feet to a 1/2 inch iron rod found for corner;
- South 48 degree 27 minutes 05 seconds East, a distance of 180.16 feet to a 1/2 inch iron rod found for corner;
- South 37 degree 16 minutes 05 seconds West, a distance of 180.50 feet to a 1/2 inch iron rod set for corner;
- South 03 degree 27 minutes 05 seconds East, a distance of 142.73 feet to a 1/2 inch iron rod set for corner;
- South 48 degree 23 minutes 55 seconds West, a distance of 85.88 feet to a 1/2 inch iron rod found for corner;
- South 41 degree 32 minutes 55 seconds West, a distance of 58.00 feet to a 1/2 inch iron rod found for corner;
- South 48 degree 27 minutes 05 seconds East, a distance of 203.00 feet to a 1/2 inch iron rod set for corner on the Northerly line of Windward Slope Addition;
- THENCE** South 41 degree 32 minutes 55 seconds West, along the Northerly line of Windward Slope Addition, as addition to the City of Heath, Rockwall County, Texas, a distance of 480.10 feet to a 1/2 inch iron rod set for corner;
- THENCE** North 14 degree 35 minutes 26 seconds West, a distance of 407.29 feet to a 1/2 inch iron rod set for corner;
- THENCE** North 01 degree 33 minutes 59 seconds West, a distance of 70.75 feet to a 1/2 inch iron rod set for corner;
- THENCE** North 20 degree 01 minutes 59 seconds West, a distance of 185.54 feet to a 1/2 inch iron rod set for corner;
- THENCE** North 31 degree 30 minutes 05 seconds West, a distance of 108.80 feet to a 1/2 inch iron rod set for corner on the Southerly right-of-way line of Henry M. Chandler Drive;
- THENCE** along the Southerly line of Henry M. Chandler Drive, the following: North 88 degree 20 minutes 50 seconds East, a distance of 80.00 feet to a 1/2 inch iron rod found for corner;
- North 48 degree 28 minutes 10 seconds East, a distance of 54.37 feet to a 1/2 inch iron rod found and being the beginning of a curve to the right having a central angle of 18 degrees 36 minutes 40 seconds and a radius of 471.19 feet;
- THENCE** along said curve an arc length of 153.06 feet to a 1/2 inch iron rod found and being the beginning of a curve to the left having a central angle of 15 degrees 20 minutes 08 seconds and a radius of 1040.00 feet;
- THENCE** along said curve an arc length of 278.36 feet to the PLACE OF BEGINNING and containing 300,076 square feet or 6.89 acres of land.

TO:

I, James P. Keene, Registered Professional Land Surveyor No. 5100, do hereby state that the survey was made, depicted and described the results of an actual on the ground survey made on the _____ day of _____, 2017 under my direction and supervision. This survey substantially conforms to the Minimum Standards of Practice as approved by the Texas Board of Professional Land Surveyors. This statement is not a representation or warranty of title or guarantee of ownership. This survey was performed EXCLUSIVELY for the benefit of the above noted parties.

ANY USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR BY OTHER PARTIES SHALL BE AT THEIR RISK AND THE UNDERSIGNED IS NOT RESPONSIBLE FOR ANY LOSS RESULTING THEREOF.

James P. Keene, R.P.L.S.
Texas Registration No. 5100
Date: _____
Bison Creek Land Services, LLC
24443 BI 20
Wile Point, Texas 75108
Phone (903) 873-3800

- SURVEY NOTES:**
- 1) Except as shown there are no visible protrusions.
 - 2) Basis of Bearing (S 48°27'05" E 180.16') Northeastery line of Rockwall Meritax Development, LLC tract as recorded in Instrument No. 2011-00482467 O.P.R.R.C.T.
 - 3) The Surveyor has been provided with the Commitment for Title Insurance described below and has relied upon R for all matters of record affecting the subject property.

TITLE RESOURCES GUARANTY COMPANY
OF No. R171857R
Effective Date: June 21, 2017 Issued: July 18, 2017

- SUBJECT TO THE FOLLOWING:**
- 10)
 - b. Easements and building lines as shown on Plat recorded in Cabinet B, Envelope 146, Plat Records, Rockwall County, Texas.
 - c. Easement dated August 1, 1975, from Clarke-Frutes Corporation to City of Rockwall recorded in Volume 116, Page 37, Deed Records, Rockwall County, Texas.
 - d. Easement dated August 1, 1975, from Clarke-Frutes Corporation to City of Rockwall recorded in Volume 116, Page 60, Deed Records, Rockwall County, Texas.
 - e. Easement dated November 17, 1982, from American Condominium Corporation of Texas to City of Rockwall recorded in Volume 168, Page 522, Deed Records, Rockwall County, Texas.
 - f. Easement dated November 17, 1982, from American Condominium Corporation of Texas to City of Rockwall recorded in Volume 168, Page 522, Deed Records, Rockwall County, Texas.
 - g. Easement dated November 22, 1982, from American Condominium Corporation of Texas to Stoner Communications recorded in Volume 168, Page 175, Deed Records, Rockwall County, Texas.

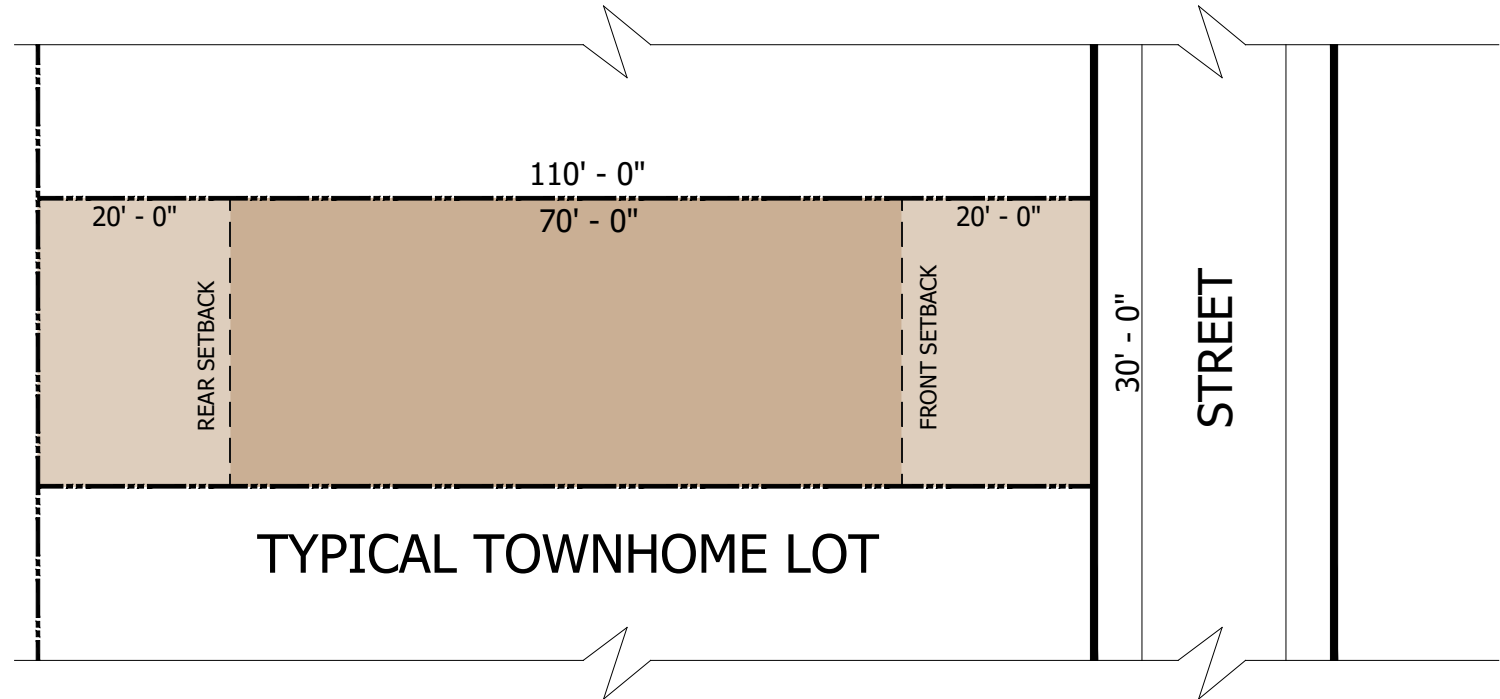
BISON CREEK LAND SERVICES, LLC
WWW.BISON-CREEK.COM
FORM LICENSE NO. 10195880
COPYRIGHT © 2017

BOUNDARY SURVEY
BEING A 6.88 ACRE TRACT OF LAND SITUATED IN THE E. TEAL SURVEY, ABSTRACT NO. 207, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PART OF 6.88 ACRES CALLED 285.2916 ACRE TRACT VOLUME 102, PAGE 895 D.R.R.C.T. SPYGLASS HILL CONDOMINIUMS, PHASE 4 CABINET B, SLIDES 146-147 P.R.R.C.T.

OWNER'S NAME: ??????, TEXAS
ADDRESS: ??????, TEXAS
PROPERTY NO. 17-008

1
OF 1



Data Summary

	Townhome Lots (30' x 100')	36 Lots	2.77 ac.
	Open Space	37.8%	2.60 ac.
	R.O.W		1.51 ac.
	TOTAL	36 Lots	6.88 ac.

Applicant:
 NEWSTREAM CAPITAL PARTNERS, LLC
 311 South Oak St. #250
 Roanoke, Texas 76262
 817-464-8193

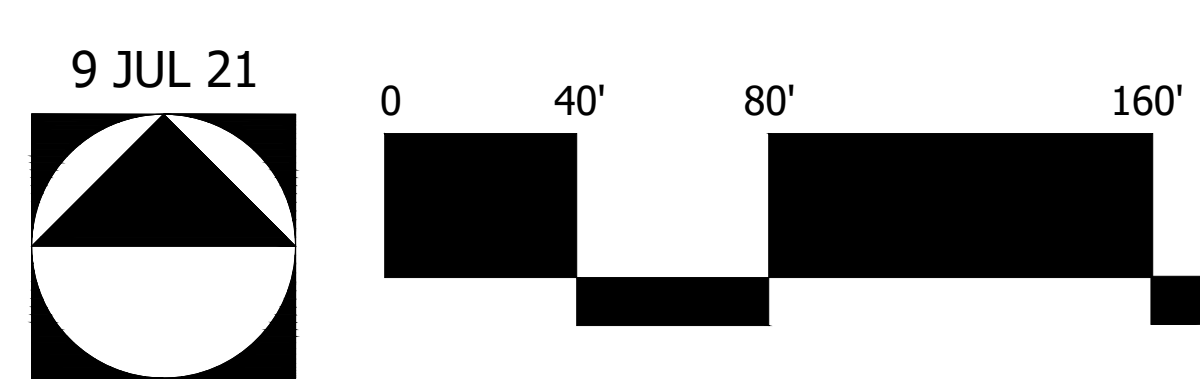
Planner:

SAGE GROUP, INC.
 Master Planning
 Urban Design
 Architecture
 Landscape Architecture
 1130 N. Carroll Ave., Ste. 200
 Southlake, Texas 76092
 817-424-2626

TAN HATCH INDICATES GARAGE IS AT GRADE ON THE UPPER FLOOR

BLUE HATCH INDICATES GARAGE IS AT GRADE ON THE LOWER FLOOR


VISITOR PARKING - 23 SPOTS



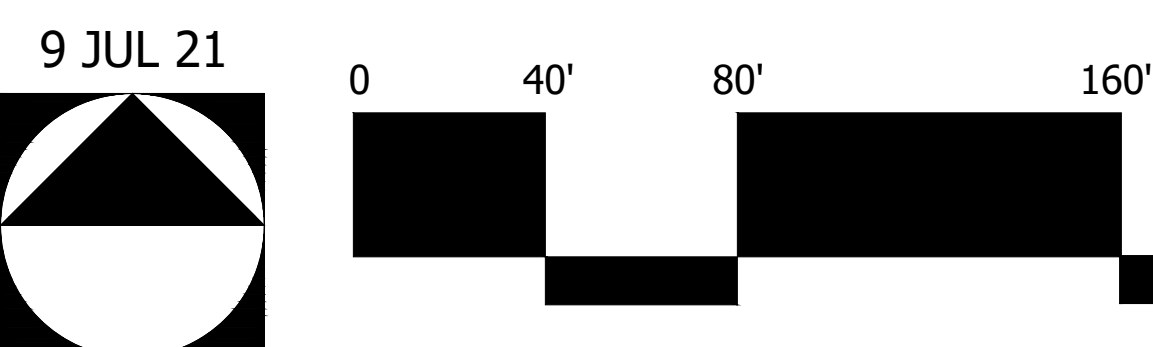
Marina Village - Rockwall

Rockwall, Rockwall County, Texas



Planner:  **SAGE GROUP, INC.**
 Master Planning
 Urban Design
 Architecture
 Landscape Architecture
 1130 N. Carroll Ave., Ste. 200
 Southlake, Texas 76092
 817-424-2626

Applicant: **NEWSTREAM CAPITAL PARTNERS, LLC**
 311 South Oak St. #250
 Roanoke, Texas 76262
 817-464-8193



Marina Village - Rockwall

Rockwall, Rockwall County, Texas

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO AMEND THE PLANNED DEVELOPMENT CONCEPT PLAN AND DEVELOPMENT STANDARDS APPROVED WITH ORDINANCE NO. 92-39, BEING A 6.88-ACRE TRACT OF LAND IDENTIFIED AS LOT 4, BLOCK A, SPYGLASS HILL #4 ADDITION AND TRACT 134-12 OF THE E. TEAL SURVEY ABSTRACT NO 207, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Troy Lewis of Newstream Capital Partners for an amendment to the *Planned Development Concept Plan* and *Development Standards* contained within Planned Development District 8 (PD-8) [Ordinance No. 92-39], for a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 8 (PD-8) [Ordinance No. 92-39] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 92-39*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the

amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Preliminary Plat
 - (2) PD Site Plan
 - (3) Final Plat
- (c) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall include a *Treescape Plan* for the area being platted.
- (d) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (e) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF AUGUST, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 19, 2021

2nd Reading: August 2, 2021

Exhibit 'A':
Legal Description

BEING a tract of land situated in the E. *TEAL SURVEY, ABSTRACT NO. 207*, City of Rockwall, Rockwall County, Texas, and being a part of that 285.2916-acre tract as conveyed to Clarke-Frates Corporation, as recorded in Volume 102, Page 895, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a point on the South line of Henry M. Chandler Drive, said point being the Northwest corner of Spyglass Hill Condominiums, Phase Three, an addition to the City of Rockwall, as recorded in Slide B, page 175, Map Records, Rockwall County, Texas, a ½" iron stake set for corner;

THENCE Along the Westerly lines of said Spyglass Hill Condominiums, the following:

South 03 deg. 27' 05" East a distance of 39.65 feet to a ½" iron stake set for corner;
South 48 deg. 27' 05" East a distance of 160.16 feet to a ½" iron stake set for corner;
South 37 deg. 16' 05" West a distance of 180.50 feet to a ½" iron stake set for corner;
South 03 deg. 27' 05" East a distance of 142.73 feet to a ½" iron stake set for corner;
South 48 deg. 23' 55" West a distance of 95.59 feet to a ½" iron stake set for corner;
South 41 deg. 23' 55" West a distance of 56.00 feet to a ½" iron stake set for corner;
South 48 deg. 27' 05" East a distance of 203.00 feet to a ½" iron stake set for a corner;

THENCE South 41 deg. 32' 55" West, along the Northerly line of Windward Slope Addition, and addition to the city of Heath, Rockwall County, Texas, a distance of 480.10 feet to a ½" iron stake found for corner;

THENCE North 14 deg. 35' 26" West, a distance of 407.29 feet to a ½" iron stake set for corner;

THENCE North 1 deg. 33' 59" West a distance of 70.75 feet to a ½" iron stake set for corner;

THENCE North 20 deg. 51' 59" West a distance of 156.54 feet to a ½" iron stake set for corner;

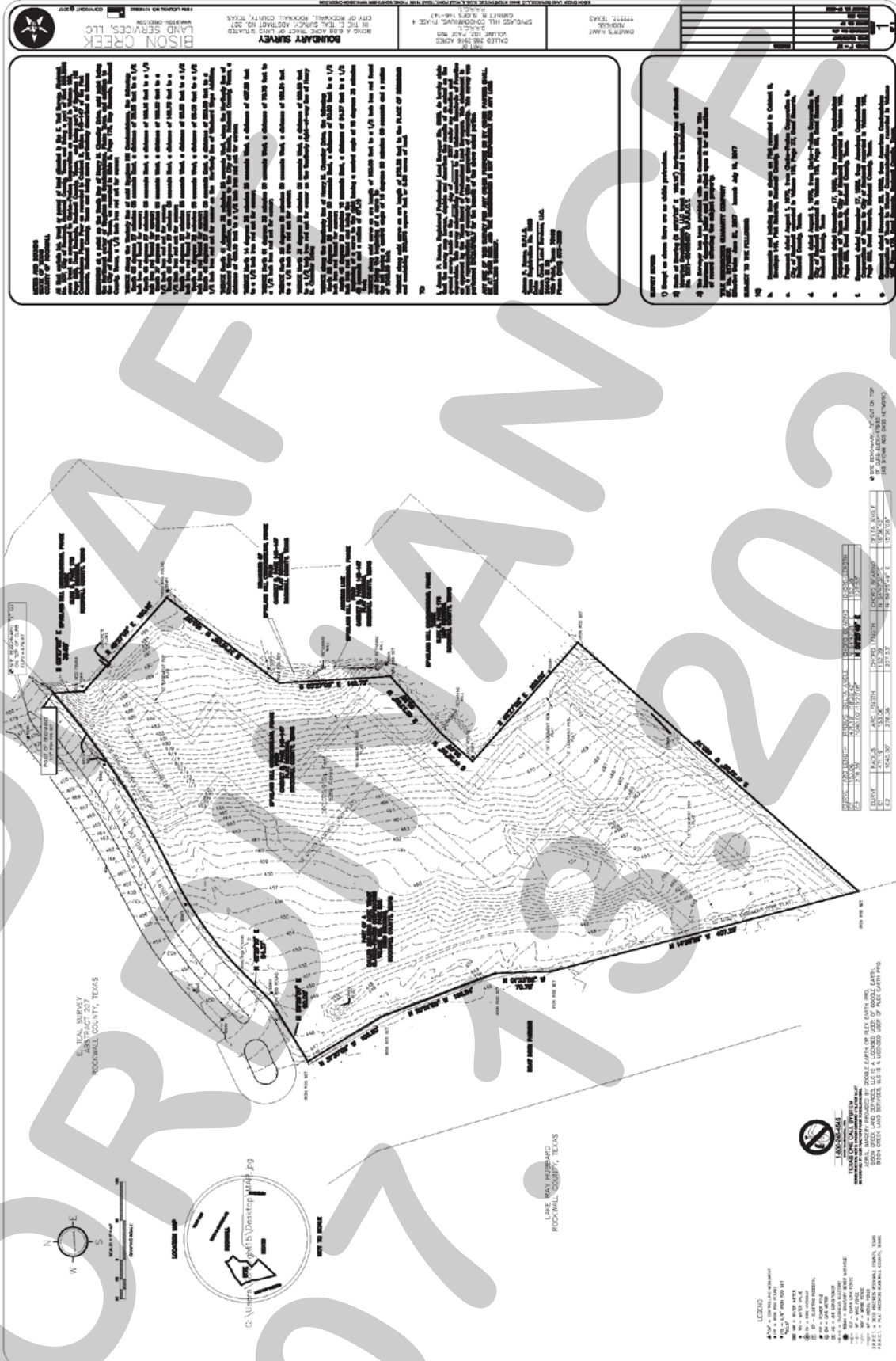
THENCE North 31 deg. 30' 08" West a distance of 109.80 feet to a ½" iron stake found for corner;

THENCE along the Southerly line of Henry M. Chandler Drive, the following:

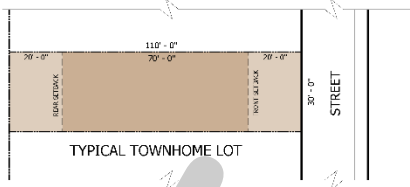
North 58 deg. 29' 50" East a distance of 90.00 feet to a ½" iron stake set for corner;
North 45 deg. 29' 10" East a distance of 54.37 feet to the beginning of a curve to the right having a central angle of 18 deg. 36' 41", and a radius of 471.19 feet, a ½" iron stake set for corner;
Around said curve, a distance of 153.06 feet to the beginning of a curve to the left having a central angle of 15 deg. 20' and a radius of 1,040.00 feet, a ½" iron stake set for corner;

Around said curve a distance of 278.32 feet to the *PLACE OF BEGINNING* and containing 6.88 acres of land. This description is based on the Land Title Survey and Plat made by Kenneth E. Brown, Registered Professional Land Surveyor on February 25, 1992.

Exhibit 'B':
Survey



**Exhibit 'C':
Concept Plan**

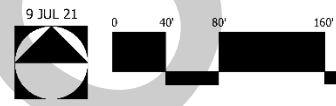


Data Summary

	Townhome Lots (30' x 100')	36 Lots	2.77 ac.
	Open Space	37.8%	2.60 ac.
	R.O.W.		1.51 ac.
	TOTAL	36 Lots	6.88 ac.

Applicant:
NEWSTREAM CAPITAL PARTNERS, LLC
311 South Oak St. #250
Rockwall, Texas 76262
817-464-8193

Planner:
SAGE GROUP, INC.
Master Planning
Urban Design
Architecture
Landscape Architecture
1110 N. Carroll Ave., Ste. 200
Southlake, Texas 76092
817-424-2626



- TAN HATCH INDICATES GARAGE IS AT GRADE ON THE UPPER FLOOR
- BLUE HATCH INDICATES GARAGE IS AT GRADE ON THE LOWER FLOOR
- VISITOR PARKING - 23 SPOTS

Marina Village - Rockwall

Rockwall, Rockwall County, Texas

Exhibit 'D':
Density and Development Standards

PD Development Standards.

(1) Permitted Uses. Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Two Family (2F) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on the *Subject Property*; however, the following additional land uses shall be permitted *by-right*:

- Townhomes/Townhouses

(2) Density and Dimensional Standards. Unless specifically provided by this Planned Development ordinance, any development on the *Subject Property* shall be subject to the density and dimensional requirements required for a Two Family (2F) District, as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, the maximum permissible density for the *Subject Property* shall be 5.23 dwelling units per gross acre of land; however, in no case should the proposed development exceed 36-units. All development on the *Subject Property* shall conform to the standards stipulated by *Table 2: Lot Dimensional Requirements* below, and generally conform to the lot layout depicted in *Exhibit 'B'* of this ordinance.

Table 2: Lot Dimensional Requirements

Minimum Lot Width	30'
Minimum Lot Depth	110'
Minimum Lot Area	3,000 SF
Minimum Front Yard Setback ⁽¹⁾	20'
Minimum Side Yard Setback ⁽²⁾	0'/25'
Minimum Side Yard Setback (Adjacent to a Street)	15'
Minimum Length of Driveway Pavement from Front Property Line	25'
Maximum Height ⁽³⁾	30'
Minimum Rear Yard Setback	20'
Minimum Area/Dwelling Unit (SF) [Sum of All Floor Area's]	1,900 SF
Maximum Lot Coverage	90%

General Notes:

- ¹: Porches, stoops, bay windows, balconies, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to five (5) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks* where appropriate for such use and shall not encroach into the private right-of-way.
- ²: The side yard setback on the attached side maybe zero (0) if directly abutting a structure on an adjacent lot.
- ³: The Maximum Height shall be measured to the midpoint of the roof of the single-family home, and in no case should any home exceed an elevation of 500-feet above sea level.

(3) Garage Orientation. Garages shall be permitted to be forward facing (*i.e. facing onto the private street in a flat front entry configuration*) with a minimum driveway length of 25-feet.

(4) Building Standards. The building elevations shall differ in appearance through the use of varying entry features, use of detail and trim, use of materials, articulation and setback, and shall conform to the following requirements:

Exhibit 'D':
Density and Development Standards

- (i) Masonry Requirements. The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) may be used for up to 50% of the exterior of the building and shall be limited to the anti-monotony restrictions as outlined in this ordinance.
- (ii) Roof Design Requirements. All buildings shall be designed such that no roof mounted mechanical equipment (i.e. *HVAC, satellite, vents, etc.*) shall be visible from any direction.

Note: Screening of mechanical equipment is necessary for all equipment regardless of location (i.e. *roof mounted, ground mounted, or otherwise attached to the building and/or located on the site*).

- (iii) Architectural Requirements. All units shall be architecturally finished on all sides of the building with the same materials, detailing and features.
- (5) Anti-Monotony Restrictions. All development shall adhere to the following anti-monotony restrictions:
- (i) Identical brick blends, paint colors and, cementaceous products (i.e. *Hardy Plank lap siding, etc.*) may not occur on adjacent (i.e. *side-by-side*) properties within the development without at least one (1) intervening townhomes of differing materials on the same side of the adjacent townhome beginning with the adjacent property.
 - (ii) Front building elevations shall not repeat along any block face without at least one (1) intervening homes of differing appearance on the same block face within the development.
 - (iii) The rear elevation of homes shall not repeat without at least one (1) (i.e. *side-by-side*) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - a) Front Encroachment (i.e. *Porch and/or Sunroom*) Type and Layout
 - b) Roof Type and Layout
 - c) Articulation of the Front Façade
 - d) Differing Primary Exterior Materials

(6) Landscaping Standards.

- (i) Landscape Requirements. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height.
- (ii) Landscape Buffers. A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Henry M. Chandler Drive, and shall incorporate a minimum of one (1) canopy tree and one (1) accent tree per 50-feet of linear frontage.

Exhibit 'D':
Density and Development Standards

- (iii) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect.
- (7) Trash Dumpster Enclosure. If proposed trash dumpster enclosures shall be four (4) sided, with eight (8) foot walls constructed and clad with materials matching the primary structures of the townhomes, and have a self-latching opaque gate. All trash dumpster enclosures shall be internal to the site and not be situated within any established building setbacks or landscape buffers.
- (8) Fence Standards. All fences shall be required to be wrought iron or a tubular steel fence. Wrought iron/tubular steel fences shall be a minimum of four (4) feet in height; however, may not exceed a maximum of eight (8) feet in height.
- (9) Open Space. A minimum of 20% open space shall be provided which generally conforms to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. The Homeowner's Association (HOA) shall be responsible for maintaining all open space areas.
- (10) Private Right-of-Way. The proposed private right-of-way shall incorporate a minimum of a 29-foot *back-to-back* concrete street built to the City's standards.
- (11) Homeowner's Association (HOA). A Homeowner's Association shall be created or the subject property shall be incorporated into the existing Chandler's Landing Homeowner's Association to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood parks, open space and common areas, irrigation, landscaping, screening fences and the private roadways, drive aisles and drive approaches for the subject property associated with this development.
- (12) Variations. The variance procedures and standards for approval that are set forth in the UDC shall apply to any application for variances to this ordinance



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 13, 2021
APPLICANT: Kevin Patel; *Triangle Engineering, LLC*
CASE NUMBER: SP2021-018; *Site Plan for a Two (2) Office Building at 1942 & 1944 N. Lakeshore Drive*

SUMMARY

Discuss and consider a request by Kevin Patel of Triangle Engineering, LLC on behalf of Gene Cooper of GotRock Properties, LLC for the approval of a Site Plan for two (2) office buildings on a 1.128-acre tract of land identified as Lots 2 & 4, Block A, North Lake Shore Daycare Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for General Retail (GR) District land uses, addressed as 1942 & 1944 N. Lakeshore Drive, and take any action necessary.

BACKGROUND

On July, 6, 1959 the subject property was annexed into the City of Rockwall [Ordinance No. 59-02]. On August 4, 2008, City Council approved a Specific Use Permit (SUP) [Ordinance No. 08-39; Case No. Z2008-015], which allowed for a Daycare (7 or More Children) on the subject property. On October 11, 2016, the Planning and Zoning Commission approved a site plan [Case No. SP2016-019] for a 13,432 SF daycare facility on the subject property. On May 5, 2017, the Planning and Zoning Commission approved an amended site plan [Case No. SP2017-014] for a ~13,142 SF daycare facility. On September 5, 2017 City Council approved a final plat [Case No. P2017-043] establishing the subject property as Lot 1, Block A, North Lake Shore Daycare Addition. On February 1, 2021, the City Council concurrently approved a zoning change [Case No. Z2020-057] and a replat [Case No. P2020-052] for the subject property. The purpose of the zoning change was for the addition of two (2) pad sites for General Retail (GR) District land uses and the replat subdivided the property into three (3) lots (i.e. Lots 2-4, Block A, North Lake Shore Daycare Addition) for the purpose of constructing the two (2) office buildings.

PURPOSE

On June 18, 2021, the applicant -- Kevin Patel with Triangle Engineering, LLC -- submitted an application requesting approval of a site plan for the purpose of developing two (2) office building that will share a common lot line. The total square footage of the structure is ~5,989 SF (i.e. 3,444 SF [Office A] & 2,545 SF [Office B]).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1942 & 1944 N. Lakeshore Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 5.006-acre tract of land (i.e. Tract 11-2 of the N. Butler Survey, Abstract No. 21), which is zoned Planned Development District 3 (PD-3) for Commercial (C) District land uses. Beyond this is N. Lakeshore Drive, which is identified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 1 of the Crestview Subdivision, which consists of 38 single-family residential lots on 10.34-acres. This property is zoned Planned Development District 3 (PD-3) for single-family detached land uses.

South: Directly south of the subject property is East Fork Road, which is identified as a M4U (i.e. major collector, four [4] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 3 of the Preserve Subdivision, which consists of 114 single-family

residential lots on 60.21-acres. This property is zoned Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses.

East: Directly east of the subject property is the Dunkin Academy daycare facility (*i.e. Lot 3, Block A, North Lake Shore Daycare Addition*), which is zoned Planned Development District 41 (PD-41) for General Retail (GR) District and uses. Continuing east is a 9.623-acre tract of land (*i.e. Tract 11-3 of the A, Hanna Survey, Abstract No. 98*), which is zoned Planned Development District 3 (PD-3) for Commercial (C) District land uses. This property is currently being operated as an *Urban Farm (i.e. Blasé Family Farm)* under *Specific Use Permit No. S-088 [Ordinance No. 11-44]*. Beyond this is a single-family home on a 5.37-acre parcel of land (*i.e. Lot 3, Block 1, Blasé Addition*), which is zoned Single-Family 10 (SF-10) District.

West: Directly west of the subject property is N. Lakeshore Drive, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 3 of the Hillcrest Shores Subdivision, which consists of 110 single-family residential lots on 37.40-acres. This property is zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Medical and/or General Office Building* is a permitted *by-right* land use in a General Retail (GR) District. The subject property currently has two (2) points of ingress and egress via N. Lakeshore Drive and East Fork Road. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within Planned Development District 41 (PD-41) and a General Retail (GR) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>6,000 SF</i>	<i>x>6.38-acres; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>x> 1,300-feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>x>3,000-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>x>300-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>0-Feet w/FRW</i>	<i>x>1,200-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>0-Feet w/FRW</i>	<i>x=515-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>36-Feet</i>	<i>x>49'10"; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>40%</i>	<i>x<51%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>95% (PD-41)</i>	<i>x=42.7%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1/300 SF of Office Space</i>	<i>x=54; In Conformance with Approved Parking Agreement</i>
<i>Minimum Stone Requirement</i>	<i>20% Natural or Quarried</i>	<i>x=42.7%; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>x=42.7%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>x<90%; In Conformance</i>

TREESCAPE PLAN

The treescape plan provided by the applicant indicates a total of 20-caliper inches of tree to be removed from the site (*i.e. four [4], five [5] inch Cedar Elms*). The applicant is providing parking lot, and street trees along N. Lakeshore Drive and East Fork Road (*i.e. 11, four [4] inch caliper trees*) on site, which will satisfy the required tree mitigation for this development.

CONFORMANCE WITH THE CITY'S CODES

The proposed site plan conforms to the standards of Planned Development District 41 (PD-41), the General Overlay District Standards of Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following variances and exceptions to the requirements of the *General Overlay District Standards* and the *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC):

(1) Materials and Masonry Composition.

- (a) Stone. According to Subsection 06.02(C)(1)(a)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), a minimum of 20% natural or quarried stone is required on all building façades. In this case, the applicant does not meet the minimum 20% stone requirement for the north (*i.e.* 17%) and the south (*i.e.* 2%) façades.
- (b) Four Sided Architecture. According to Subsection 06.02(C)(5), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all buildings are required to be architecturally finished on all four sides utilizing the same materials, detailing, articulation and features. In this case, the north facing façade does not provide the same detailing, articulation, and features as provided for on the remaining façades, rather the applicant is providing Hardie Shaker panels as accents instead of windows or other architectural elements depicted on the structure.
- (c) Cementitious Materials. According to Subsection 06.02(C)(1)(a)(2), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the use of cementitious materials shall be limited to 50% of the building's exterior façade. In this case, the east (*i.e.* 52%) and north (*i.e.* 76%) elevations exceeds the 50% maximum allowed for each façade.

(2) Building Articulation.

- (a) Secondary Building Facade. According to Subsection 04.01(C)(2), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all commercial buildings are required to meet the standards for articulation on secondary building façades. In this case, the building does not meet the horizontal articulation standards for the north facing façade by extending the wall more than three (3) times the walls height (*i.e.* ~9' 5") without the provision for a bump-out or a recessed architectural element, and creating a flat wall. The wall extends for approximately 50-feet and provides a recess of approximately three (3) feet, then continues for approximately 40-feet.

According to Section 9, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and unless otherwise specified by the UDC, "(a)n applicant may request the Planning and Zoning Commission grant a variance to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In cases where a variance or variances is/are being requested, the applicant shall provide compensatory measures that directly offset the requested variances."

In this case, the applicant has provided a letter explaining the variances and exceptions, and offering compensatory measures in the form of additional landscaping, increased architectural elements (*i.e.* canopies and gabled roof elements at the main entrance), varied roof heights and peaked roofs forms. Additionally, the applicant is indicating that the intent is to continue the common architectural elements that provide a presence by matching the existing Dunkin Academy for the overall development of the site. The Planning and Zoning Commission is tasked with determining if the compensatory measures properly off-set the requested variances. This is a discretionary decision for the Planning and Zoning Commission, which requires approval by a super majority vote (*i.e.* a three-fourths vote of those members present), with a minimum of four (4) votes in the affirmative required for approval. In the event that the variance(s) are denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *North Lakeshore District*, which is “intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures.” In this case, the applicant’s proposed building will match the existing Dunkin Academy daycare facility, which was designed as a residential scale building. The applicant’s site plan appears to meet the intent of Comprehensive Plan for a medical and general office facility located within the *Commercial/Retail* on the subject property.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On June 29, 2021, the Architectural Review Board (ARB) reviewed the proposed building elevations and recommended the applicant provide shrubs and windows to the rear of the building to break up the blank wall and meet the intent of the *General Overlay District Standards*. It should be know that Board Member Meyrat recused himself, with Board Members Mitchell & Avenetti were absent. The applicant has made adjustments to the building elevations and landscape plan for review; however, these changes do not appear to meet the recommendation by the Architectural Review Board (ARB). The Architectural Review Board will review the revisions made by the applicant at the July 13, 2021 meeting and forward a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's *Site Plan* for a *Medical and/or General Office Building* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The applicant shall provide a photometric plan that does not exceed the allowable maximum light intensity of 0.2-FC at the property lines prior to the site plan being fully approved and signed.
- (3) Any construction resulting from the approval of this *Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2021-018

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1944 & 1942 N Lakeshore Dr, Rockwall, TX 75087

SUBDIVISION NORTH LAKE SHORE DAYCARE

LOT 2 & 4 BLOCK A

GENERAL LOCATION NEC OF N LAKESHORE DR & EAST FORK DR

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD- 41

CURRENT USE VACANT

PROPOSED ZONING PD- 41

PROPOSED USE OFFICE

ACREAGE LOT 2- 0.879, LOT 4- 0.249
TOTAL- 1.128 ACRES

LOTS [CURRENT]

2

LOTS [PROPOSED]

0

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3187 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER GOTROCK PROPERTIES LLC

CONTACT PERSON GENE COOPER

ADDRESS 2580 TECHNOLOGY DRIVE
SUITE 100

CITY, STATE & ZIP PLANO, TX 75074

PHONE 512.689.9494

E-MAIL DOUG@VIADUCTDEV.COM

APPLICANT KARTAVYA PATEL, P.E. (KEVIN PATEL)

CONTACT PERSON KEVIN PATEL

ADDRESS 1784 W. MCDERMOTT DR
SUITE 110

CITY, STATE & ZIP ALLEN, TX 75013

PHONE 214.609.9271

E-MAIL KPATEL@TRIANGLE-ENGR.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

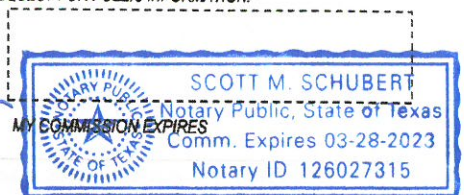
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 272.56 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF June, 2021


OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DEVELOPMENT APPLICATION





SP2021-018- SITE PLAN FOR LAKESHORE OFFICE BUILDING
 SITE PLAN - LOCATION MAP = 

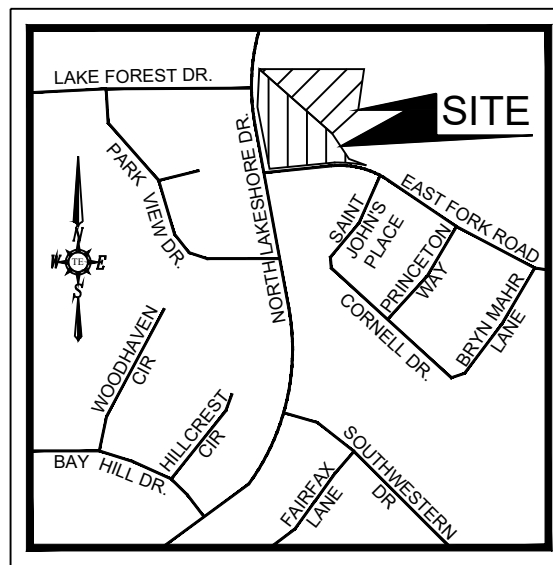
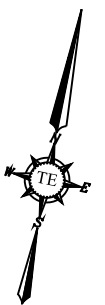


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





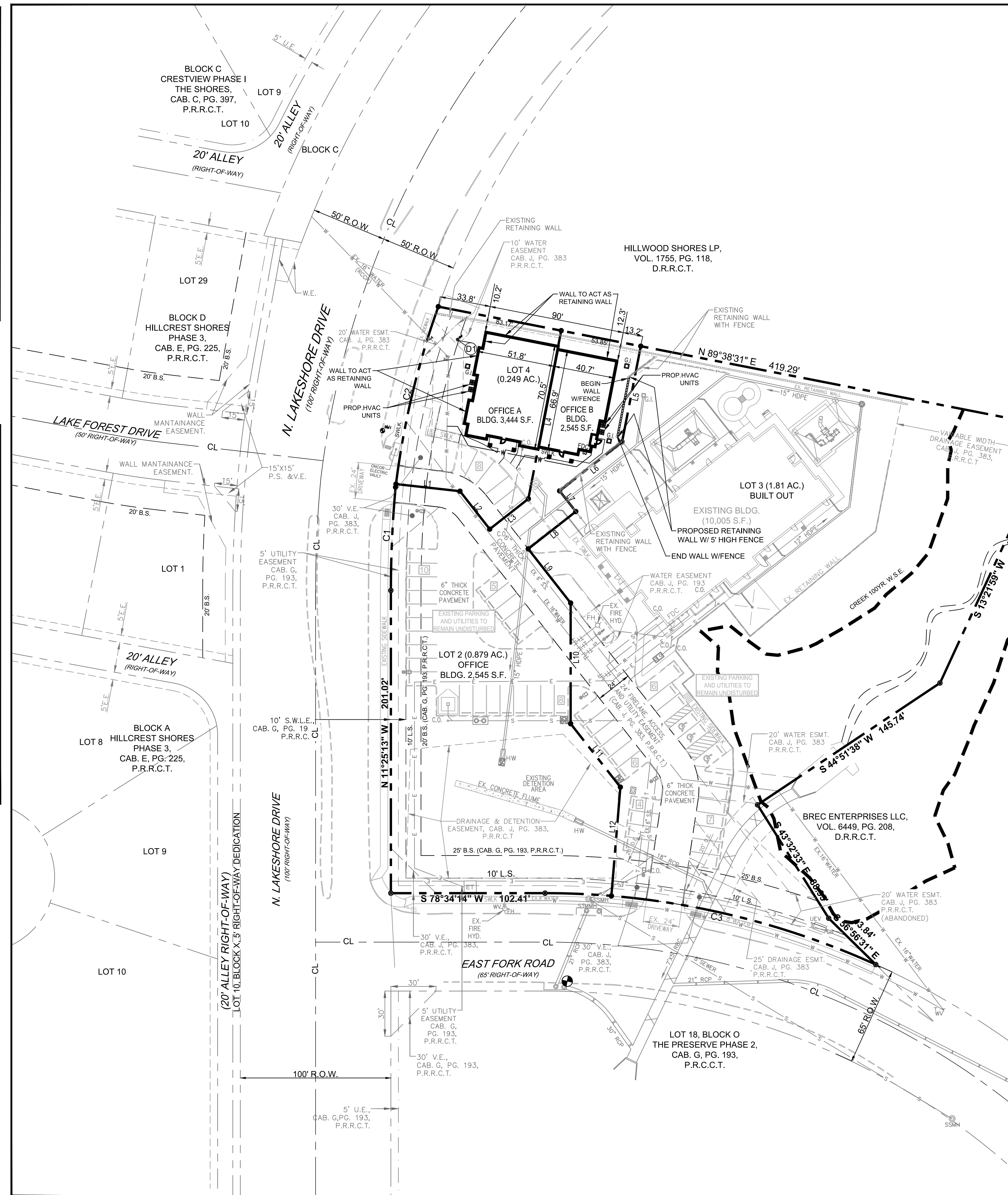
VICINITY MAP
NTS

LEGEND		
UTILITY EASEMENT	U.E.	
SANITARY SEWER EASEMENT	S.S.E.	
DETENTION & DRAINAGE EASEMENT	D.D.E.	
WATERLINE EASEMENT	W.E.	
VISIBILITY EASEMENT	V.E.	
SIDEWALK EASEMENT	S.E.	
ELECTRICAL EASEMENT	E.E.	
CLEAN OUT	C.O.	
GAS METER	GM	
ELECTRICAL VAULT	EV	
LIGHT POLE	LP	
TRAFFIC SIGN	TS	
ELECTRICAL TRANSFORMER	ET	
FIRE HYDRANT	FH	
SANITARY SEWER MANHOLE	SSMH	
STORM SEWER MANHOLE	SMMH	
BUILDING SET BACK	B.S.	
LANDSCAPE BUFFER	L.B.	
PRESSURE REDUCING VALVE	PRV	
FIRE DEPARTMENT CONNECTION	F.D.C.	
SCREENING WALL & LANDSCAPE EASEMENT	S.W.L.E.	
BARRIER FREE RAMP	BFR	
VISIBILITY EASEMENT	V.E.	

SITE DATA SUMMARY TABLE		
PHYSICAL ADDRESS	TO BE DETERMINED	
GROSS/NET AREA	2,938 ACRES (127,979 S.F.)	
LOT 2	0.879 ACRES (38,268 S.F.)	
LOT 3 (BUILT OUT)	1.810 ACRES (78,852 S.F.)	
LOT 4	0.249 ACRES (10,842 S.F.)	
ZONING	PD-41	
CURRENT USE	VACANT	
PROPOSED USE	OFFICE	
LOT COVERAGE DATA		
LOT 2 - OFFICE COVERAGE	2,545 S.F. (1.97%)	
LOT 3 - DAYCARE COVERAGE	10,005 S.F. (7.75%)	
LOT 4 - OFFICE COVERAGE	3,444 S.F. (2.67%)	
TOTAL BUILDING AREA	15,994 S.F. (12.40%)	
IMPERVIOUS COVERAGE	49,465 S.F. (38.65%)	
PERVIOUS COVERAGE	78,497 S.F. (61.35%)	
PARKING SUMMARY		
PARKING REQUIREMENTS		
LOT 2 - OFFICE	REQUIRED	PROVIDED
1 SPACE PER 300 GFA	9	8
LOT 3 - DAY CARE	34	34
1 SPACE PER 300 GFA		
LOT 4 - OFFICE	12	12
1 SPACE PER 300 GFA		
TOTAL PARKING	55	54
BUILDING DATA		
NO. OF BUILDINGS	3	
PEAK HEIGHT	29'-0"	
TOTAL SQUARE FOOTAGE	15,994 S.F.	

BOUNDARY LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	S 84°56'24" W	42.78'
L2	N 49°32'37" W	32.01'
L3	S 40°27'23" W	32.59'
L4	S 00°21'29" E	113.80'
L5	N 00°21'29" W	64.76'
L6	N 40°27'23" E	52.70'
L7	N 49°29'15" W	17.40'
L8	N 40°27'33" E	40.17'
L9	N 49°32'37" W	45.66'
L10	N 11°25'13" W	80.18'
L11	N 49°32'37" W	53.50'
L12	N 06°41'00" W	72.48'

CURVE DATA TABLE					
NO.	LENGTH	RADIUS	DELTA	CH BEARING	CH LENGTH
C1	68.65'	750.00'	5°14'41"	N 08°47'53" W	68.63'
C2	123.50'	550.00'	12°51'56"	N 01°53'41" E	123.24'
C3	226.46'	532.50'	24°22'00"	N 89°14'47" W	224.76'



GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCKWALL.
- A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT.
- THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS. AT HIS OWN COST AND EXPENSE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS", VOL. 29, SUBPART P. PG. 128 - 137, AND ANY AMENDMENTS THERE TO.
- ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
- ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
- ALL RETAINING WALLS TO BE ROCK OR STONE FACED.

DETENTION NOTE

- ONSITE DETENTION WILL BE PROVIDED.

WATER METER & SANITARY SEWER SCHEDULE				
ID	TYPE	SIZE	NO.	SAN. SEW.
(D1)	DOM.	1"	1	6"

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____ 2021.

WITNESS OUR HANDS THIS _____ DAY OF _____, 2021.

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING & ZONING _____

CASE #SP2021-018

SITE PLAN
OFFICE BUILDING
NEC OF N. LAKESHORE DRIVE & E. FORK ROAD
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

Planning | Civil Engineering | Construction Management

DESIGN/DRAWN: KP DS DATE: 08/23/16 SCALE: SEE SCALE BAR PROJECT NO.: 028-16 SHEET NO.: 3

TX PE FIRM #11525

ENGINEER
TRIANGLE ENGINEERING LLC
1784 W. McDERMOTT DRIVE, SUITE 110
ALLEN, TEXAS 75013
CONTACT: KARTAVYA PATEL, P.E.
TEL: (214) 609-9271

SURVEYOR
TRAVERSE LAND SURVEYING LLC
14200 MIDWAY ROAD, SUITE 130
DALLAS, TEXAS 75244
CONTACT: MARK NACE, R.P.L.S.
TEL: (469) 426-7339

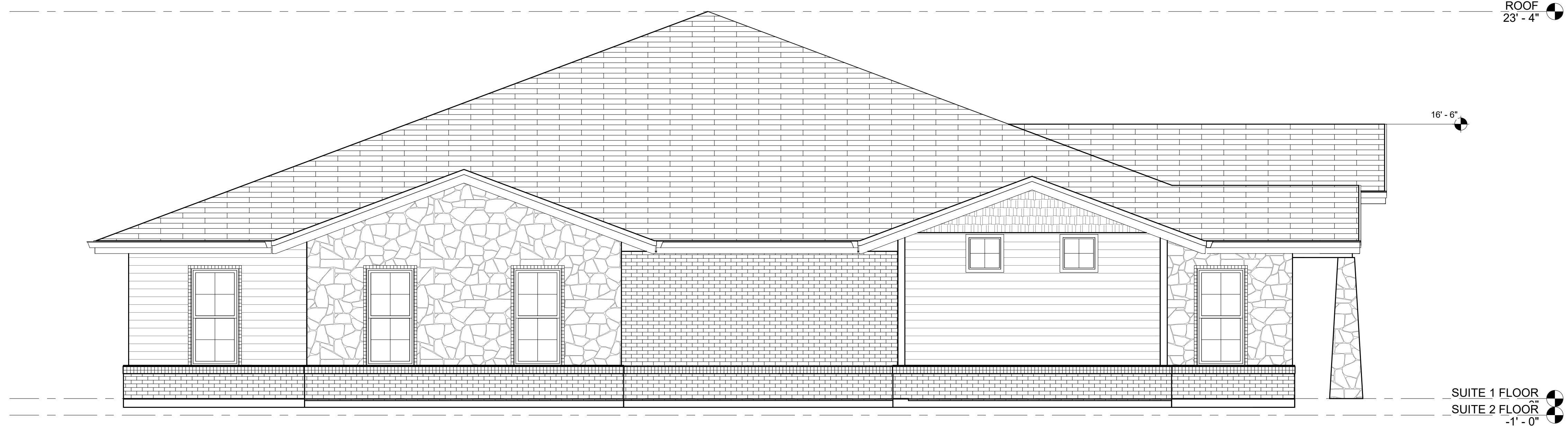
NO.	DATE	DESCRIPTION	BY
1	06/08/2021	1ST CITY SUBMITTAL	KP
1	07/06/2021	2ND CITY SUBMITTAL	KP



06/08/2021



1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

FACADE MATERIAL AREA	
SOUTH ELEVATION	STONE - 133 SF - 17% BRICK - 455 SF - 56% CEMENTITIOUS SIDING (LAP & SHAKER) - 220 SF - 27%
WEST ELEVATION	STONE - 168 SF - 26% BRICK - 274 SF - 43% CEMENTITIOUS SIDING (LAP & SHAKER) - 195 SF - 31%
EAST ELEVATION	STONE - 153 SF - 24% BRICK - 149 SF - 24% CEMENTITIOUS SIDING (LAP & SHAKER) - 326 SF - 52%
NORTH ELEVATION	STONE - 18 SF - 2% BRICK - 189 SF - 22% CEMENTITIOUS SIDING (LAP & SHAKER) - 638 SF - 76%

- | FACADE NOTES | |
|--------------|--|
| • | ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE COMPREHENSIVE ZONING ORDINANCE. |
| • | WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING. |
| • | ANY/ALL SIGNAGE IS SUBJECT TO FINAL APPROVAL UNDER SEPARATE APPLICATION/PERMIT BY THE CHIEF BUILDING OFFICIAL OR DESIGNEE. |
| • | MONUMENT SIGN TO BE CONSTRUCTED OF SAME MATERIALS AND COLORS AS BUILDINGS. |
| • | SEE LANDSCAPE PLAN FOR MASONRY SCREENING (COLORS AND MATERIALS TO MATCH BUILDING) |

CASE #SP2021-018

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 2021.

WITNESS OUR HANDS THIS _____ DAY OF _____, 2021.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

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Magellan
ARCHITECTS
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Dallas, Texas 75243
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www.magellanarchitects.com
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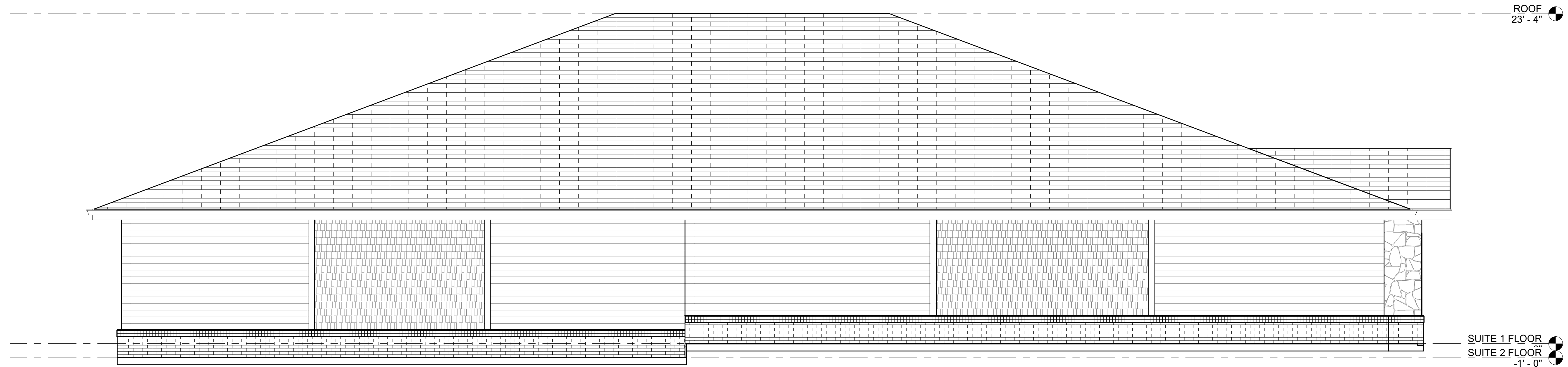
ROCKWALL MEDICAL OFFICES
1942 - 1944 NORTH LAKESHORE DR.
ROCKWALL, TX 75087

REVISIONS		
NO.	DATE	BY

ISSUE DATES	
DESIGN APPROVAL:	
PERMIT SUBMITTAL:	
PERMIT RECEIVED:	
BID DOCS:	
CONSTR. DOCS:	

24"x36" SCALE:	1/4" = 1'-0"
PLOT DATE:	7/8/2021 3:26:54 PM
CAD FILE:	
JOB NUMBER:	MATX 20-016
CHECKED:	Checker
DRAWN:	Author
STATUS:	PERMIT

EXTERIOR ELEVATIONS
A3.1



1 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

FACADE MATERIAL AREA

SOUTH ELEVATION
STONE - 133 SF - 17%
BRICK - 455 SF - 56%
CEMENTITIOUS SIDING (LAP & SHAKER) - 220 SF - 27%
WEST ELEVATION
STONE - 168 SF - 26%
BRICK - 274 SF - 43%
CEMENTITIOUS SIDING (LAP & SHAKER) - 195 SF - 31%
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STONE - 153 SF - 24%
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NORTH ELEVATION
STONE - 18 SF - 2%
BRICK - 189 SF - 22%
CEMENTITIOUS SIDING (LAP & SHAKER) - 638 SF - 76%

- ### FACADE NOTES
- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE COMPREHENSIVE ZONING ORDINANCE.
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 - ANY/ALL SIGNAGE IS SUBJECT TO FINAL APPROVAL UNDER SEPARATE APPLICATION/PERMIT BY THE CHIEF BUILDING OFFICIAL OR DESIGNEE.
 - MONUMENT SIGN TO BE CONSTRUCTED OF SAME MATERIALS AND COLORS AS BUILDINGS.
 - SEE LANDSCAPE PLAN FOR MASONRY SCREENING (COLORS AND MATERIALS TO MATCH BUILDING)

CASE #SP2021-018

APPROVED:
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WITNESS OUR HANDS THIS _____ DAY OF _____, 2021.

PLANNING AND ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

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ROCKWALL MEDICAL OFFICES
1942 - 1944 NORTH LAKESHORE DR.
ROCKWALL, TX 75087

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NO.	DATE	BY

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CONSTR. DOCS:	

24"x36" SCALE:	1/4" = 1'-0"
PLOT DATE:	7/8/2021 3:26:55 PM
CAD FILE:	
JOB NUMBER:	MATX 20-016
CHECKED:	Checker
DRAWN:	Author
STATUS:	PERMIT

EXTERIOR ELEVATIONS
A3.2



FRONT ELEVATION

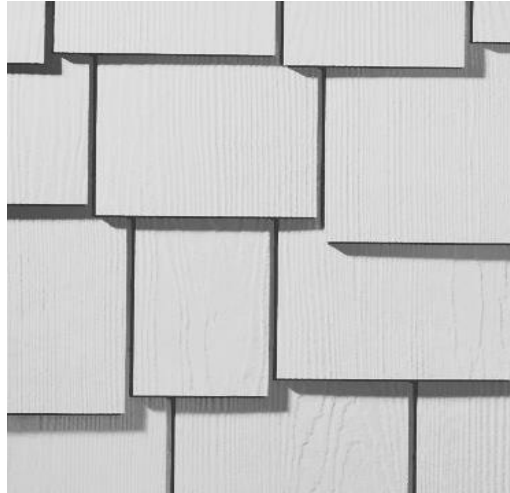
SCALE: NTS



**ROOF
COMPOSITION
SHINGLE**



**STONE
GRANBURY REGULAR
CHOPPED GRAY**



**HARDIE SIDING
STAGGERED EDGE PANEL**



**BRICK
CEDAR VALLEY
ACME BRICK**

SW 7014
Eider White

SW 9148
Smoky Azurite

SW 9639
Rain Cloud



**LAKESHORE
MEDICAL**

A.1

6.17.21

DUNKIN ACADEMY SITE DEVELOPMENT

2.960 ACRES OF LAND BEING A REPLAT OF LOT 1, BLOCK S OF THE PRESERVE PHASE 3, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SOLID SOD NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 1" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

PLANT MATERIAL SCHEDULE

TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE2	4	Cedar Elm	<i>Ulmus crassifolia</i>	5" cal.	B&B, 16' ht., 7' spread min., 7' clear trunk
CM	5	Crepe Myrtle	<i>Lagerstroemia indica</i>	30 gal.	
IH	11	Indian Hawthorn	<i>Rhinophloeis indica</i>	5 gal.	
NPH	35	Needlepoint Holly	<i>Ilex cornuta 'Needlepoint'</i>	5 gal.	

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

(4) 5" CALIPER CEDAR ELM TREES THAT WERE PLANTED MITIGATION MUST BE REMOVED FOR CONSTRUCTION OF THE MEDICAL BUILDING. THESE TREES WILL BE REPLACED ON SITE. REFER TO PLAN AND PLANT MATERIAL SCHEDULE FOR THE TREE LOCATION AND SPECIFICATIONS.

APPROVED
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 2021.

WITNESS OUR HANDS THIS _____ DAY OF _____, 2021.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING & ZONING

LANDSCAPE TABULATIONS: LOT 2

SITE REQUIREMENTS (site area 38,289 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
5,743 s.f. (15%)	20,658 s.f.

FRONT YARD REQUIREMENTS

Requirements: 50% of required landscape must be located in front yard

Required	Provided
2,872 s.f. (50%)	19,408 s.f.

STREET REQUIREMENTS

Requirements: (1) tree 4" cal. per 50 l.f. of frontage

N LAKESHORE DRIVE (272 L.F.)

Required	Provided
(6) trees	(6) trees

E FORK ROAD (146.5 l.f.)

Required	Provided
(3) trees	(4) trees

PARKING LOT (26 spaces)

Requirements: (1) tree, 4" cal. per 10 parking spaces

Required	Provided
(3) trees, 4" cal.	(4) trees, 4" cal.

LANDSCAPE TABULATIONS: LOT 3

SITE REQUIREMENTS (site area 78,843 s.f.)
Requirements: 10% site area to be landscaped

Required	Provided
11,827 s.f. (15%)	26,282 s.f.

FRONT YARD REQUIREMENTS

Requirements: 50% of required landscape must be located in front yard

Required	Provided
5,914 s.f. (50%)	8,123 s.f.

STREET REQUIREMENTS

Requirements: (1) tree 4" cal. per 50 l.f. of frontage

E FORK ROAD (183 l.f.)

Required	Provided
(4) trees	(3) trees

PARKING LOT (17 spaces)

Requirements: (1) tree, 4" cal. per 10 parking spaces

Required	Provided
(2) trees, 4" cal.	(3) trees, 4" cal.

LANDSCAPE TABULATIONS: LOT 4

SITE REQUIREMENTS (site area 10,846 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
1,626 s.f. (15%)	3,813 s.f.

FRONT YARD REQUIREMENTS

Requirements: 50% of required landscape must be located in front yard

Required	Provided
813 s.f. (50%)	3,191 s.f.

STREET REQUIREMENTS

Requirements: (1) tree 4" cal. per 50 l.f. of frontage

N LAKESHORE DRIVE (121 L.F.)

Required	Provided
(3) trees	(3) trees

PARKING LOT (5 spaces)

Requirements: (1) tree, 4" cal. per 10 parking spaces

Required	Provided
(1) trees, 4" cal.	(0) trees, 4" cal.

GENERAL LAWN NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNERS CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.



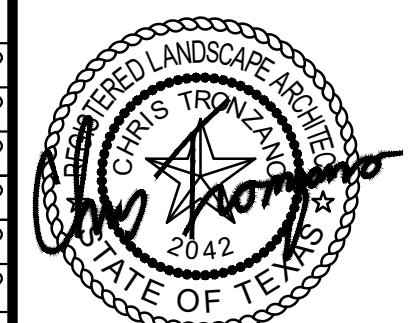
LINE NO.	BEARING	DISTANCE
L1	N 78°34'14" W	102.41'
L2	N 11°25'13" W	201.02'
L3	N 01°10'03" W	31.12'
L4	N 58°45'59" W	50.79'
L5	S 89°38'31" E	471.62'
L6	S 13°21'59" W	186.68'
L7	S 44°51'38" W	145.74'
L8	S 43°32'33" E	88.95'
L9	S 56°56'31" E	43.84'

NO.	LENGTH	RADIUS	DELTA	CH BEARING	CH LENGTH
C1	134.21'	750.00'	10°15'10"	N 06°17'38" W	134.03'
C2	226.46'	532.50'	24°21'59"	N 89°14'47" W	224.76'

ALL TREES TO BE LOCATED A MINIMUM OF 5' FROM PUBLIC UTILITIES.
ALL SHRUBS ADJACENT FROM HEAD IN PARKING SHALL BE PLANTED 4' FROM BACK OF CURB

IRRIGATION IS REQUIRED PER THE UDC

NO.	DATE	DESCRIPTION	BY
1	06/18/21	CITY SUBMITTAL	KP
2	07/01/21	CITY COMMENTS	KP
3	07/07/21	CITY COMMENTS	KP



CASE# SP2021-018

LANDSCAPE PLAN
LAKESHORE MEDICAL
1942-1944 N. LAKESHORE DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TRIANGLE ENGINEERING LLC

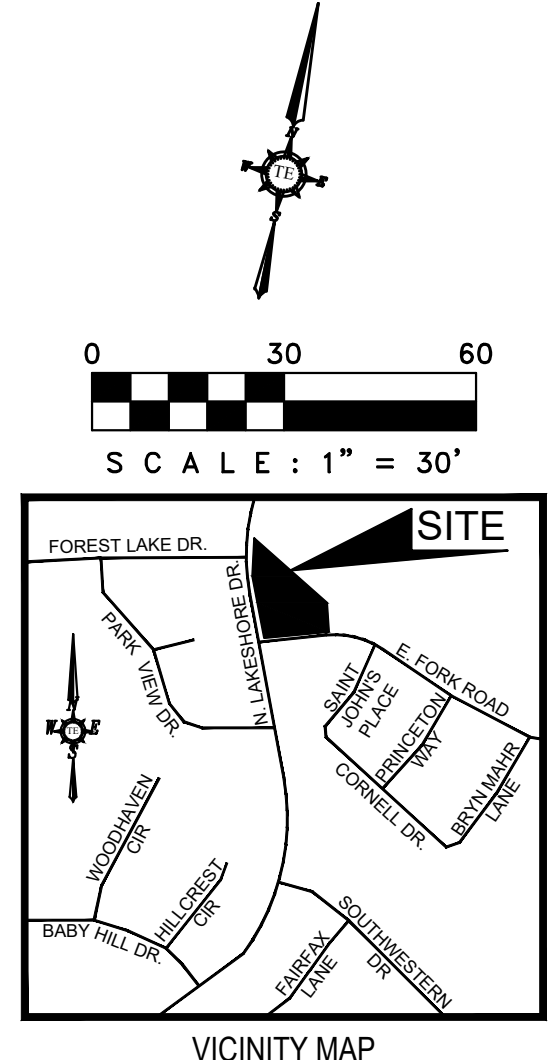
T: 214.609.9271 F: 469.359.6709 E: kpatel@triangle-engr.com
W: triangle-engr.com | O: 1333 McDermott Drive, Suite 200, Allen, TX 75013

Planning | Civil Engineering | Construction Management

DESIGN/DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	DS	11/16/18	SEE SCALE BAR	028-16

TX PE FIRM #11525

L.2



- EXISTING TREE NOTES**
- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
 - If any root structure is damaged during excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
 - No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
 - Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
 - Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
 - Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
 - Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
 - Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
 - Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48) inches.
 - Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
 - Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
 - Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
 - Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
 - Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

BOUNDARY LINE DATA

LINE NO.	BEARING	DISTANCE
L1	N 78°34'14" W	102.41'
L2	N 11°25'13" W	201.02'
L3	N 01°10'03" W	31.12'
L4	N 58°45'59" W	50.79'
L5	S 89°38'31" E	471.62'
L6	S 13°21'59" W	186.68'
L7	S 44°51'38" W	145.74'
L8	S 43°32'33" E	88.95'
L9	S 56°56'31" E	43.84'

EXISTING TREES PREVIOUS BUILDING DEVELOPMENT

NO.	DIA. INCHES	SPECIES (COMMON NAME)	REMARKS	MITIGATION REQUIRED
1	5	CEDAR ELM	TO BE REMOVED	5
2	5	CEDAR ELM	TO BE REMOVED	5
3	4	CEDAR ELM	TO BE REMOVED	5
4	5	CEDAR ELM	TO REMAIN	
5	5	CEDAR ELM	TO REMAIN	
6	4	CEDAR ELM	TO REMAIN	
7	4	CEDAR ELM	TO REMAIN	
8	3	CREPE MYRTLE	TO REMAIN	
9	3	CREPE MYRTLE	TO REMAIN	
10	3	CREPE MYRTLE	TO REMAIN	
11	5	LIVE OAK	TO REMAIN	
12	5	LIVE OAK	TO REMAIN	
13	4	LIVE OAK	TO REMAIN	
14	4	LIVE OAK	TO REMAIN	
15	4	LIVE OAK	TO REMAIN	
16	5	LIVE OAK	TO REMAIN	
17	4	LIVE OAK	TO REMAIN	
18	5	BALD CYPRESS	TO REMAIN	
19	5	BALD CYPRESS	TO REMAIN	
20	4	CEDAR ELM	TO REMAIN	
21	4	CEDAR ELM	TO REMAIN	
22	5	CEDAR ELM	TO REMAIN	
23	4	LIVE OAK	TO REMAIN	
24	4	CEDAR ELM	TO REMAIN	
25	5	BALD CYPRESS	TO REMAIN	
26	5	BALD CYPRESS	TO REMAIN	
27	5	BALD CYPRESS	TO REMAIN	
28	5	BALD CYPRESS	TO REMAIN	
29	4	LIVE OAK	TO REMAIN	
30	4	LIVE OAK	TO REMAIN	
31	5	BALD CYPRESS	TO REMAIN	
32	5	BALD CYPRESS	TO REMAIN	
33	4	LIVE OAK	TO REMAIN	
34	5	BALD CYPRESS	TO REMAIN	
35	5	BALD CYPRESS	TO REMAIN	
36	5	BALD CYPRESS	TO REMAIN	
37	5	BALD CYPRESS	TO REMAIN	
38	4	LIVE OAK	TO REMAIN	
39	5	BALD CYPRESS	TO REMAIN	
40	5	BALD CYPRESS	TO REMAIN	
41	5	BALD CYPRESS	TO REMAIN	
42	5	BALD CYPRESS	TO REMAIN	
43	5	BALD CYPRESS	TO REMAIN	
44	5	BALD CYPRESS	TO REMAIN	
45	5	BALD CYPRESS	TO REMAIN	
46	4	LIVE OAK	TO REMAIN	
47	5	BALD CYPRESS	TO REMAIN	
48	5	BALD CYPRESS	TO REMAIN	
49	5	LIVE OAK	TO REMAIN	
50	4	LIVE OAK	TO REMAIN	
51	4	LIVE OAK	TO REMAIN	
52	4	LIVE OAK	TO REMAIN	
53	5	CEDAR ELM	TO REMAIN	
54	5	CEDAR ELM	TO REMAIN	
55	5	CEDAR ELM	TO REMAIN	
56	5	CEDAR ELM	TO REMAIN	
57	5	CEDAR ELM	TO REMAIN	
58	5	CEDAR ELM	TO REMAIN	
59	5	CEDAR ELM	TO REMAIN	
60	5	CEDAR ELM	TO REMAIN	
61	5	CEDAR ELM	TO REMAIN	
62	4	LIVE OAK	TO REMAIN	
63	5	CEDAR ELM	TO REMAIN	
64	5	CEDAR ELM	TO REMAIN	
65	4	LIVE OAK	TO REMAIN	
66	4	LIVE OAK	TO REMAIN	
67	4	LIVE OAK	TO REMAIN	
68	4	LIVE OAK	TO REMAIN	

EXISTING TREES PRE-DEVELOPMENT

NO.	DIA. INCHES	SPECIES (COMMON NAME)	REMARKS	MITIGATION REQUIRED
174	8	HACKBERRY	TO REMAIN	
176	9	CEDAR ELM	TO REMAIN	
180	8	HACKBERRY	TO REMAIN	
181	7	HACKBERRY	TO REMAIN	
182	8	CEDAR ELM	TO REMAIN	
183	7	CEDAR ELM	TO REMAIN	
184	8	CEDAR ELM	TO REMAIN	
185	9	CEDAR ELM	TO REMAIN	
186	6	CEDAR ELM	TO REMAIN	
187	7	CEDAR ELM	TO REMAIN	
188	7	CEDAR ELM	TO REMAIN	
189	8	HACKBERRY	TO REMAIN	
196	7	HACKBERRY	TO REMAIN	
191	7	HACKBERRY	TO REMAIN	
192	8	HACKBERRY	TO REMAIN	
193	6	HACKBERRY	TO REMAIN	
194	6	HACKBERRY	TO REMAIN	
195	9	HACKBERRY	TO REMAIN	
196	7	HACKBERRY	TO REMAIN	
197	13	AMERICAN ELM	TO REMAIN	
198	10	AMERICAN ELM	TO REMAIN	
199	12	AMERICAN ELM	TO REMAIN	
200	11	CEDAR ELM	TO REMAIN	
201	7	CEDAR ELM	TO REMAIN	
202	8	CEDAR ELM	TO REMAIN	
203	7	CEDAR ELM	TO REMAIN	
204	8	WILLOW	TO REMAIN	
205	6	WILLOW	TO REMAIN	
206	16	AMERICAN ELM	TO REMAIN	
207	21	AMERICAN ELM	TO REMAIN	
208	12	AMERICAN ELM	TO REMAIN	
209	9	AMERICAN ELM	TO REMAIN	
210	36	AMERICAN ELM	TO REMAIN	
211	24	AMERICAN ELM	TO REMAIN	
212	6	TEXAS ASH	TO REMAIN	
213	11	TEXAS ASH	TO REMAIN	
214	6	TEXAS ASH	TO REMAIN	
215	12	AMERICAN ELM	TO REMAIN	
216	7	HACKBERRY	TO REMAIN	
217	14	AMERICAN ELM	TO REMAIN	
218	12	CEDAR ELM	TO REMAIN	
219	8	CEDAR ELM	TO REMAIN	
220	9	AMERICAN ELM	TO REMAIN	
221	15	AMERICAN ELM	TO REMAIN	
222	7	AMERICAN ELM	TO REMAIN	
223	7	AMERICAN ELM	TO REMAIN	
224	10	CEDAR ELM	TO REMAIN	
225	9	AMERICAN ELM	TO REMAIN	
226	10	CEDAR ELM	TO REMAIN	
227	7	AMERICAN ELM	TO REMAIN	
228	6	AMERICAN ELM	TO REMAIN	
229	9	AMERICAN ELM	TO REMAIN	
230	7	AMERICAN ELM	TO REMAIN	
231	9	AMERICAN ELM	TO REMAIN	
232	17	CEDAR ELM	TO REMAIN	
233	8	CEDAR ELM	TO REMAIN	
234	18	CEDAR ELM	TO REMAIN	
235	8	HACKBERRY	TO REMAIN	
236	19	CEDAR ELM	TO REMAIN	
237	6	AMERICAN ELM	TO REMAIN	
238	6	AMERICAN ELM	TO REMAIN	
239	7	AMERICAN ELM	TO REMAIN	
240	7	AMERICAN ELM	TO REMAIN	
241	6	AMERICAN ELM	TO REMAIN	
242	9	AMERICAN ELM	TO REMAIN	
243	8	AMERICAN ELM	TO REMAIN	
244	10	AMERICAN ELM	TO REMAIN	
246	6	AMERICAN ELM	TO REMAIN	
248	6	AMERICAN ELM	TO REMAIN	
249	14	AMERICAN ELM	TO REMAIN	
250	10	HACKBERRY	TO REMAIN	
251	10	HACKBERRY	TO REMAIN	
252	6	HACKBERRY	TO REMAIN	
253	7	HACKBERRY	TO REMAIN	

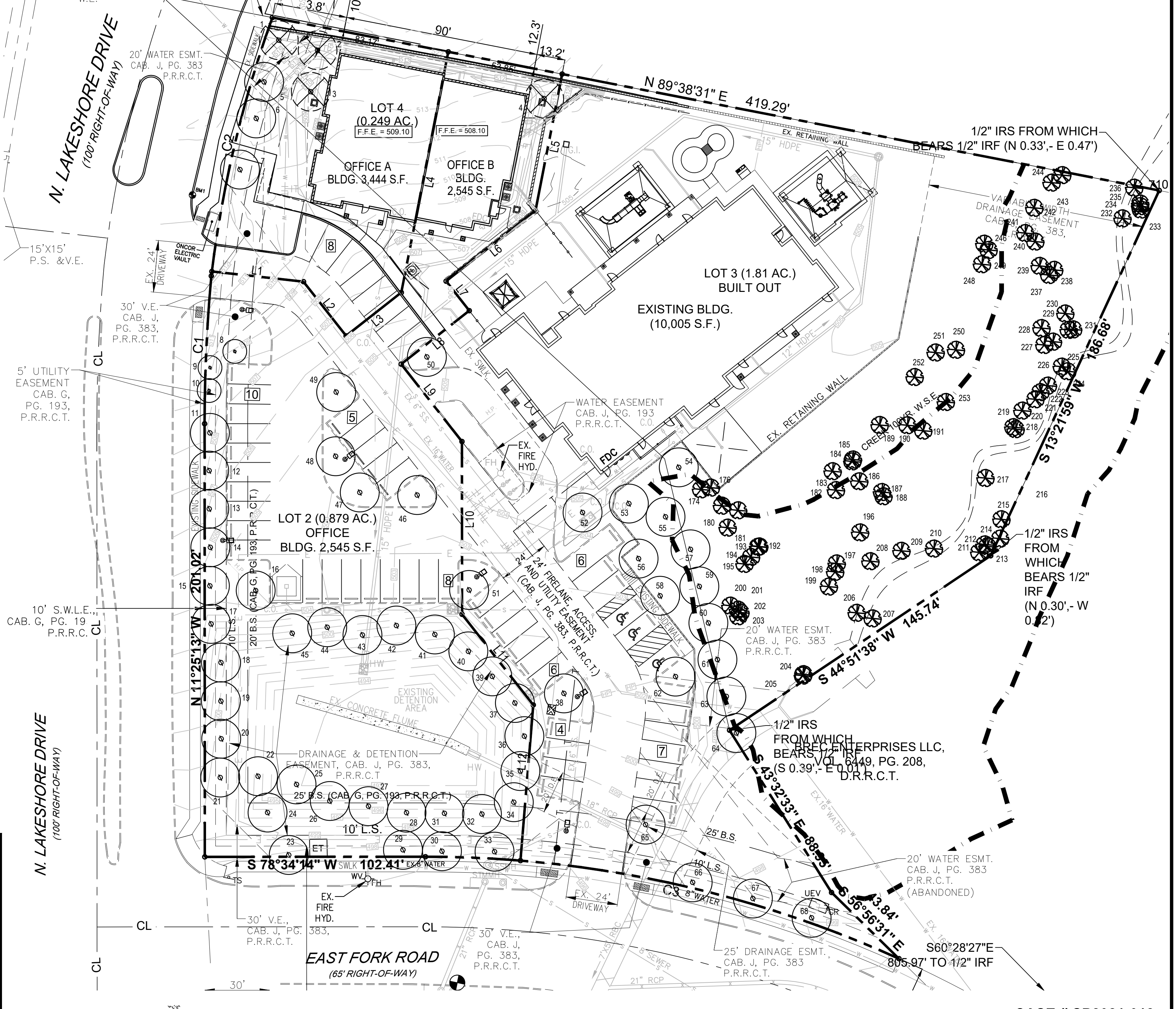
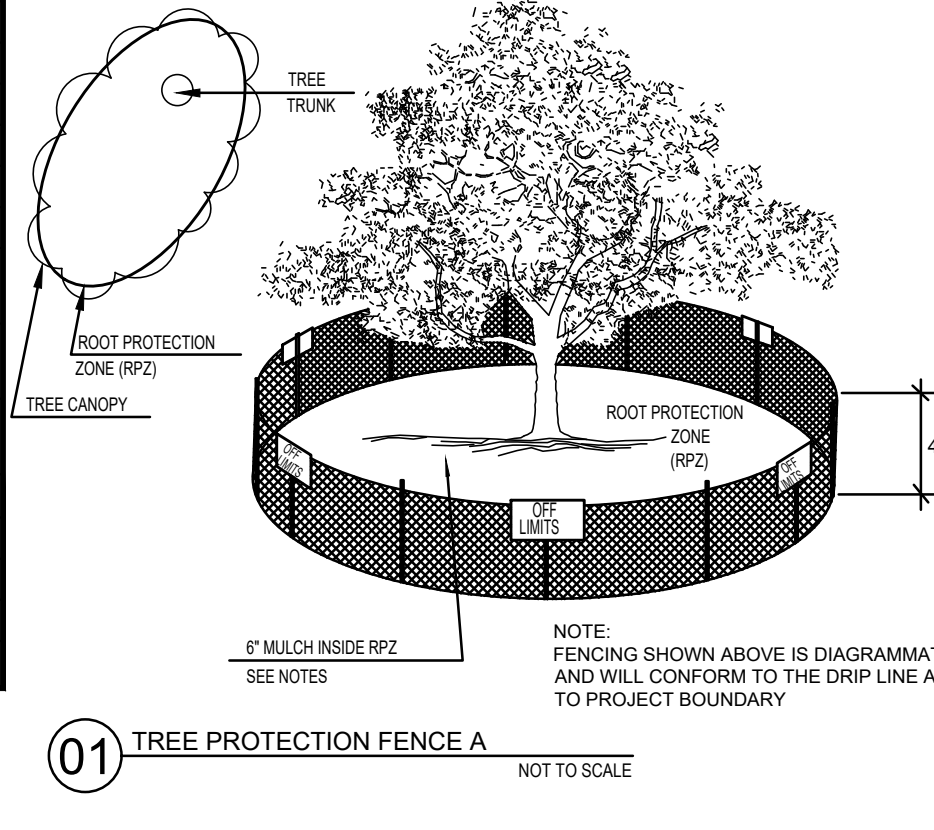
TREES 1-4 ARE PROPOSED TO BE REMOVED. THERE WERE 5" CALIPER MITIGATION TREES FROM THE DEVELOPMENT OF THE PREVIOUS PHASE. (5) NEW 5" CALIPER CEDAR ELMS WILL BE REPLANTED TO MITIGATE THE REMOVAL OF THE 4 PREVIOUSLY PLANTED TREES. REFER TO SHEET L2 FOR PROPOSED TREE LOCATIONS.

EXISTING TREE LEGEND

- (Symbol: Circle with cross) EXISTING TREES TO REMAIN- PRE DEVELOPMENT
- (Symbol: Circle with dot) EXISTING TREES TO REMAIN- PREVIOUS BUILDING DEVELOPMENT
- (Symbol: Circle with X) EXISTING TREES TO BE REMOVED- PREVIOUS BUILDING DEVELOPMENT

SITE DATA SUMMARY TABLE

PHYSICAL ADDRESS	TO BE DETERMINED
GROSS/NET AREA	2,938 ACRES (127,979 S.F.)
LOT 2	0.879 ACRES (38,268 S.F.)
LOT 3 (BUILT OUT)	1.810 ACRES (78,852 S.F.)
LOT 4	0.249 ACRES (10,842 S.F.)
ZONING	PD-41
CURRENT USE	VACANT
PROPOSED USE	OFFICE
LOT COVERAGE DATA	
LOT 2 - OFFICE COVERAGE	2,545 S.F. (1.97%)
LOT 3 - DAYCARE COVERAGE	10,005 S.F. (7.75%)
LOT 4 - OFFICE COVERAGE	3,444 S.F. (2.67%)
TOTAL BUILDING AREA	15,994 S.F. (12.40%)
IMPERVIOUS COVERAGE	49,465 S.F. (38.65%)
PERVIOUS COVERAGE	78,497 S.F. (61.35%)
PARKING SUMMARY	
PARKING REQUIREMENTS	REQUIRED PROVIDED
LOT 2 - OFFICE	9 8
1 SPACE PER 300 GFA	
LOT 3 - DAY CARE	34 34
1 SPACE PER 300 GFA	
LOT 4 - OFFICE	12 12
1 SPACE PER 300 GFA	
TOTAL PARKING	55 54
BUILDING DATA	
NO. OF BUILDINGS	3
PEAK HEIGHT	29'-0"
TOTAL SQUARE FOOTAGE	15,994 S.F.



APPROVED
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 2021.

WITNESS OUR HANDS THIS _____ DAY OF _____, 2021.

PLANNING & ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING & ZONING

NO.	DATE	DESCRIPTION	BY
1	07/07/21	CITY COMMENTS	KP

CASE # SP2021-018

EXISTING TREE PLAN
LAKESHORE MEDICAL
1942-1944 N. LAKESHORE DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TRIANGLE ENGINEERING LLC
T: 214.609.9271 F: 469.359.6709 | E: kpatel@triangle-engr.com
W: triangle-engr.com | O: 1333 McDermott Drive, Suite 200, Allen, TX 75013

Planning | Civil Engineering | Construction Management

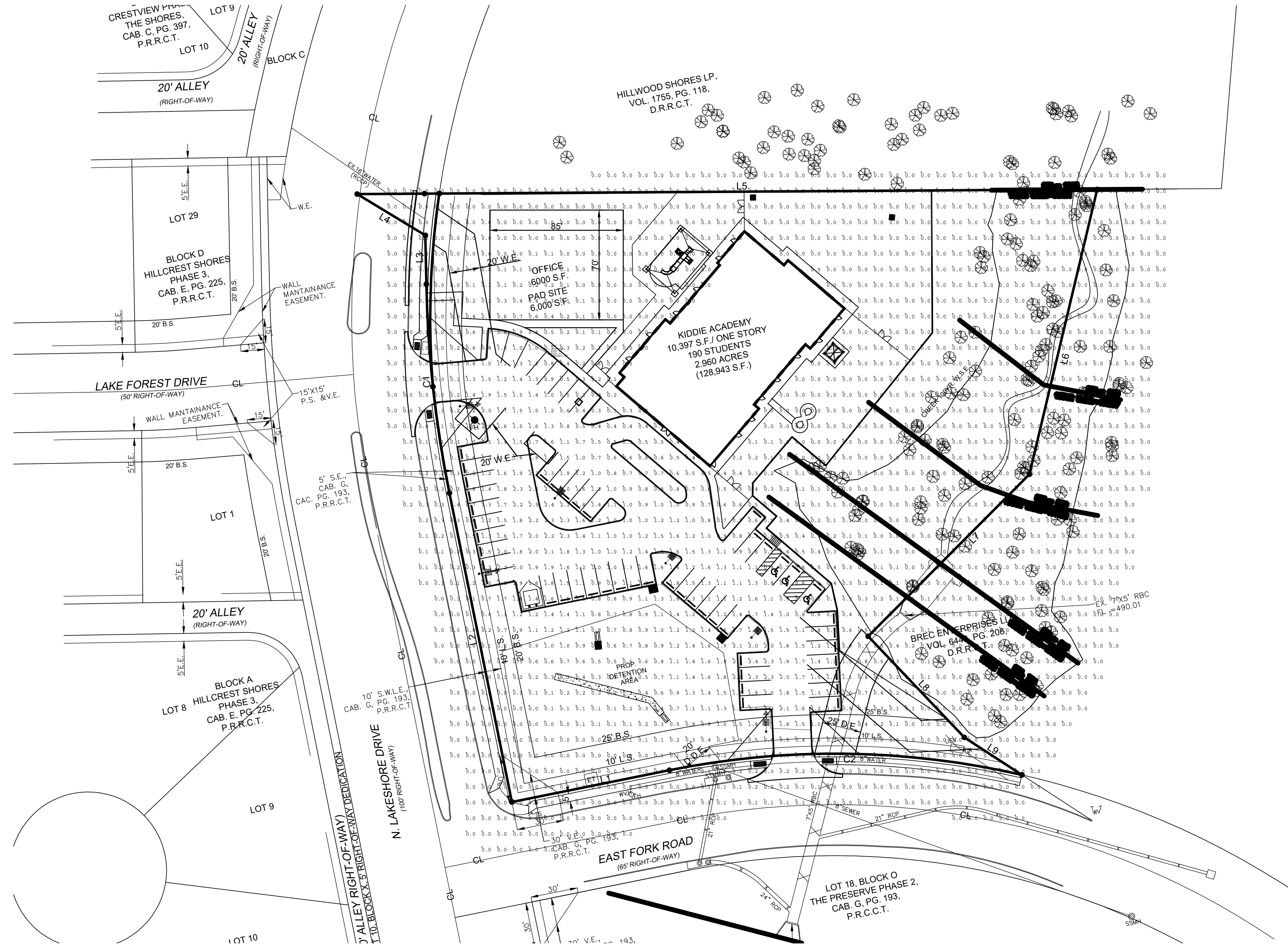
DESIGN/DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	DS	11/16/18	SEE SCALE BAR	028-16

TX PE FIRM #11525

L.1

REVISIONS

Rev #	Date	BY:



Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
PARKING	Pc	1.29	2.6	0.3	4.30	8.67	10	10

Symbol	Qty	Label	Lum. Lumens	LLF	Description	Lum. Watts
●	3	A	11735	0.950	WLS-CLXM-LED-12L-SIL-5W-40-70CRI 25' POLE 2'-6" BASE	93.1
●	3	B	8048	0.950	WLS-CLXM-LED-12L-SIL-FT-40-70CRI-IL 25' POLE 2'-6" BASE	93.1

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

**KIDDIE ACADEMY
ROCKWALL, TX**

WLS LIGHTING
a WLS company

1919 WINDSOR PLACE
FORT WORTH, TX 76110
www.wlslighting.com

CLXM SERIES LED AREA

SPECIFICATIONS

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT and FTA.
- Silicone optical material does not yellow or crack with age and provides a maximum light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, 3000K, 2700K and Amber (+/- 275K) color temperatures.
- Minimum CRI of 70.
- Integral Louver (IL) option available for improved back-light control without sacrificing street side performance.

Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F)
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Terminal block provided accepts up to 10ga wire.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square poles without need for pole adaptors.
- Luminaire is proudly made in the U.S. of U.S. and imported parts.
- IP66 rated luminaire protects integral components from harsh environments.
- 3G rated for ANSI C136.31 high vibration applications.
- Fixtures are finished with WLS's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard WLS finishes available.
- Shipping weight: 30 lbs in carton.

Controls

- Optional integral passive infrared motion and daylight sensor activates switching of luminaire light levels
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules.

Installation

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment for installing/servicing.
- Included terminal block provides quick and easy on-site wiring.
- Utilizes WLS's traditional 3" drill pattern for easy fastening of WLS products.

Warranty

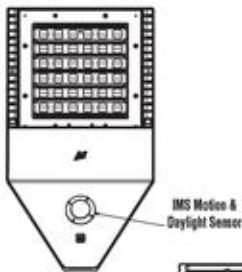
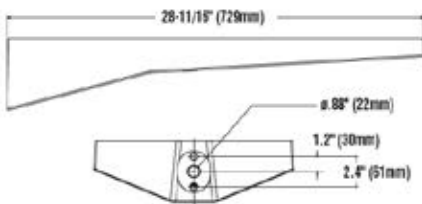
- WLS LED Fixtures carry a 5-year warranty.

Listings

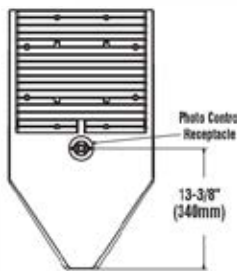
- Listed to UL 1598 and UL 8750.
- RoHS Compliant.
- American Recovery and Reinvestment Act Funding Compliant.
- Suitable For wet Locations.
- IP66 rated Luminaire. IP66 rated optical chamber.
- 3G rated for ANSI C136.31 high vibration applications



DIMENSIONS



Bottom View



Top View



Made in the U.S.A. of the U.S. and imported parts.
Meets Buy American requirements for ARRA.



Project Name: _____

Date: _____

Location: _____

Notes: _____

CLXM SERIES LED AREA

ORDERING INFORMATION SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE.

Refer to example below.

SERIES	LIGHT SOURCE	LUMENS PACKAGE	LIGHT OUTPUT	DISTIBUTION	ORIENTATION ¹	VOLTAGE	DRIVER	COLOR TEMPERATURE
CLXM	LED	9L 9,000 lms 12L 12,000 lms 18L 18,000 lms 24L 24,000 lms 30L 30,000 lms 36L 36,000 lms 42L 42,000 lms	SIL Silicone	2 Type 2 3 Type 3 5W Type 5 Wide FT Type Forward Throw FTA Forward Throw Automotive	(blank) - standard L Optics rotated left 90 R Optics rotated right 90	UNV Universal Voltage (120-277V) HV High Voltage (347-480V)	DIM 0-10v Dimming (0-10%)	27 2,700 CCT ² 30 3,000 CCT ² 40 4,000 CCT 50 5,000 CCT AMB Amber ^{2,3}

ORDER:

WLS-CLXM	LED		SIL				DIM	
----------	-----	--	-----	--	--	--	-----	--







COLOR RENDERING	CONTROLS	FINISH	OPTIONS
70CRI 70 CRI	EXT 0-10v Dimming (from external signal) IMS Integral Motion & Daylight Sensor ^{4,5}	BRZ Bronze BLK Black GPT Graphite MSV Metallic Silver WHT White PLP Platinum Plus SVG Satin Verde Green CC' Custom Color	(Blank) None Button Type Photocells ⁷ PC1120 120V PC1208-277 208-277V PC1347 347V CR7P 7 Pin Photoelectric Control Receptacle ⁶ IL Integral Louver HSS ¹

Example: WLS-CLXM-LED-30L-SIL-5W-UNV-DIM-40-70CRI-EXT-BRZ-IL

FOOTNOTES:

- 1 Not available on "Type 5W" distribution.
- 2 Consult factory for availability.
- 3 Only available in 9L and 12L lumen packages.
- 4 Not available in HV.
- 5 IMS is field adjustable, via a hand held Remote Configurator Tool, which must be ordered separately.
- 6 Control device must be ordered separately.
- 7 Factory installed CR7P option required.

LUMINAIRE EPA CHART - CLXM

	Single	0.6
	D180°	1.1
	D90°	0.9
	T90°	1.9
	TN120°	1.9
	Q90°	2.1

ELECTRICAL DATA

Lumens	Watts	120V	208V	240V	277V	347V	480V
9L	68.2	0.6A	0.3A	0.3A	0.2A	0.2A	0.1A
12L	93.1	0.8A	0.4A	0.4A	0.3A	0.3A	0.2A
18L	148.5	1.2A	0.7A	0.6A	0.5A	0.4A	0.3A
24L	188.8	1.6A	0.9A	0.8A	0.7A	0.5A	0.4A
30L	248.6	2.1A	1.2A	1.0A	0.9A	0.7A	0.5A
36L	317.8	2.6A	1.5A	1.3A	1.1A	0.9A	0.7A
42L	393.4	3.3A	1.9A	1.6A	1.4A	1.1A	0.8A



1919 Windsor Place
 Fort Worth, TX 76110
 800.622.8711

www.wslighting.com

Project Name: _____

Date: _____

Location: _____

Notes: _____

01 REV. 01/19

Specifications subject to change without notice.

CITY OF ROCKWALL
PROJECT # SP2021-018
Site Plan for Lakeshore Office Building
1942 N. LAKESHORE DR

7/6/2021

LETTER OF REQUEST COMPENSATORY MEASURES

The proposed project meets the City of Rockwall compensatory measures for this development. Current requirements based on the project comments issued June 25, 2021, list any two options and the proposed development has the following items:

- Masonry building materials percentages equal to or greater to the adjacent building. We matched the existing brick, stone, Hardie board shaker and Hardie board panels as well as matching material percentages along with similar articulation. The intent was to continue the common architectural materials & articulation language for the overall development.
- Increased architectural elements showing two main entrance canopies on the south elevation.
- Varied roof heights on the south and west elevations which include peaked roofs as well.
- At the request of the ARB, additional landscaping has been added to the northwest corner of the building as recommended to hide the north elevation view.

SP2021-018



Ernesto Miranda | Principal
8330 Lyndon B Johnson Fwy
Suite B678
Dallas, TX 75243
Office: (214) 998-8888
Cell: (214) 260-7202



T: 469.331.8566 | F: 469.359.6709 | W: triangle-engr.com | O: 1784 W McDermott Drive, Suite 110, Allen, TX 75013

Attn: David Gonzales
City of Rockwall
385 S. Goliad Street
Rockwall, TX 75087
972-772-6488
dgonzales@rockwall.com

Date: 07.08.2021

RE: Engineering comment response letter for Lakeshore Office Building, 1942 N Lakeshore Dr.
(SP2021-018)

Dear David,

Please find the engineering comment responses below.

M.3 Case number (SP2021-018) added to lower right hand corner.
M.5 Signature Block added to each plan.

M.9 Site Plan

1. HVAC units will be on the side of the building and proposed to be screened by landscape.
2. ROW dedication removed from site data summary table.
3. This property will use an existing shared dumpster. No proposed dumpster onsite.

M.10 Landscape plan

1. Canopy Trees corrected on plans.
2. Statement clarified, Trees to be removed and proposed plantings shown on plans. Refer L1 for the four trees to be removed and L2 shows the proposed location of the four new trees.

M.11 Treescape Plan

1. Plan updated per this comment. Refer attached L1.

M.16 One (1) hard copy and a PDF version of the plans are provided for subsequent review.

Retaining Wall

1. A rock or stone-faced retaining wall will be provided. Refer General note 10 on the site plan.

Dylan Pumphrey | Entitlement Manager